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0002	Calculations
0003	Basix Commitments
0004	Site Analysis
0005	Demolition Plan
0006	Sedimentation Control Plan
0007	Shadow Diagrams
0008	Site Plan
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3001	Sections & Driveway Sect...
3002	Driveway Section
4001	Adaptation & Fence Details

Development Application

Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over 1 levels of parking

5 - 7 Swift Street, Guildford



Calculations

Site Details

5 - 7 Swift Street, Guildford
DP & Lot:

DP11109, Lot 6
DP11109, Lot 7

Site area:
Frontage:
Current Use:
Existing Gross Floor Area:

984.5m²
27.215m
Residential
237m²

Floor Space

Zone:
FSR:
Max Area

R4
1.4:1
1378.3m²

Proposed

Ground Floor
Level 1
Level 2
Level 3

317.48m²
317.48m²
317.48m²
317.48m²

Total

1269.92m²

Proposed FSR

1.27: 1

Landscaping

Required Deep Soil
Proposed Deep Soil
Required Landscaped Area
Proposed Landscaped Area

30% of Site Area 295.35m²
30% of Site Area 297.00m²
30% of Site Area 295.35m²
41% of Site Area 402.15m²

Onsite Parking

Within 400m of Guildford Train Station
Required
1 space per 1&2 Bedrooms
1.2 space per 3 Bedroom
0.25 per visitor

x12
x4
x4

Total Car Spaces Required
Total Car Spaces Provided

20
21

Adaptable Units

Minimum requirements
Proposed

Minimum 10%
2 units (12.5%)

Unit Breakdown

Unit Schedule - Ground			POS Schedule	
Unit Number	Unit Type	Measured Area (m2)	Zone Number	POS Area (m2)
Unit 01	3 Bed	95.01		135.47
Unit 02	1 Bed	52.03	Unit 01	114.58
Unit 03	2 Bed	71.51	Adaptable	8.33
Unit 04	2 Bed	70.60	Unit 03	10.43
Unit Schedule - Level 1			level 1 POS Schedule	
Unit Number	Unit Type	Measured Area (m2)	Zone Number	POS Area (m2)
Unit 05	3 Bed	95.01	Unit 05	12.13
Unit 06	1 Bed	52.04	Unit 06	8.21
Unit 07	2 Bed	71.51	Adaptable	11.83
Unit 08	2 Bed	70.60	Unit 08	12.13
Unit Schedule - Level 2			POS Schedule - Level 2	
Unit Number	Unit Type	Measured Area (m2)	Zone Number	POS Area (m2)
Unit 09	3 Bed	95.00	Unit 09	12.13
Unit 10	1 Bed	52.04	Unit 10	8.21
Unit 11	2 Bed	71.51	Unit 11	11.83
Unit 12	2 Bed	70.60	Unit 12	12.13
Unit Schedule - Level 3			POS Schedule - level 3	
Unit Number	Unit Type	Measured Area (m2)	Zone Number	POS Area (m2)
Unit 13	3 Bed	94.22	Unit 13	12.13
Unit 14	1 Bed	52.04	Unit 14	8.32
Unit 15	2 Bed	71.51	Unit 15	11.83
Unit 16	2 Bed	70.60	Unit 16	12.13

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Cooling/Heating 1 Phase airconditioning 1 star
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Toilet Rating 4 star
Taps Rating 4 Star
Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
NSW Architects Registration Board No: 5347
Nominated registered architect - Adriaan Winton
p: 02 9648 8348 w: www.idraft.com.au
m: PO Box 427, Merrylands NSW 2150

project:
Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
BML Investments Pty Ltd

council:
Parramatta City Council

drawing title:
Calculations

designed + drawn:
M. Trinh W.Hanna

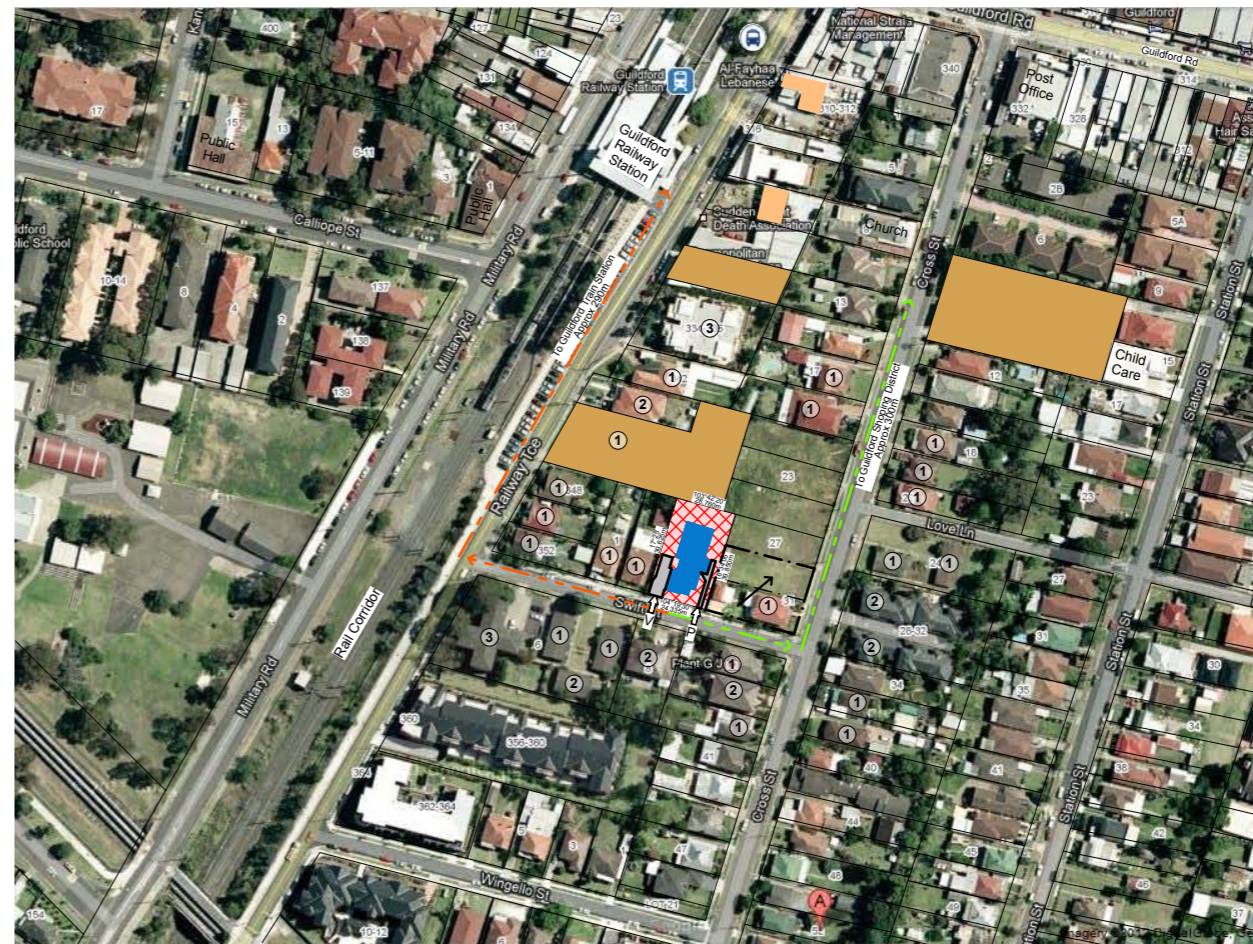
Issue/Stage:
Issue C - DA

paper/scale:
A3/

date:
10/09/2015

job #: **28200** dwg #: **0002**

5-7 Swift Street, Guildford



Site Analysis - Building Use, Density & Public Amenities
scale 1:2500

Site Analysis - Building Use, Density & Public Amenities
scale 1:2500

Legend

- Proposed Development
- Pedestrian Route
- Entry (Pedestrian)
- Direction of Overland flow (drainage)
- Heritage item
- Site Boundary
- Bus Stop
- Entry (Vehicle)
- Route to Public Amenities
- Number of storeys Neighbouring buildings
- Train Station
- Route to Public Transport

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 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Deferral Letter | 17/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
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project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Site Analysis

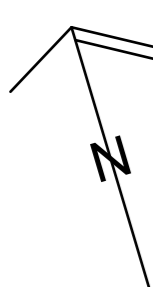
designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

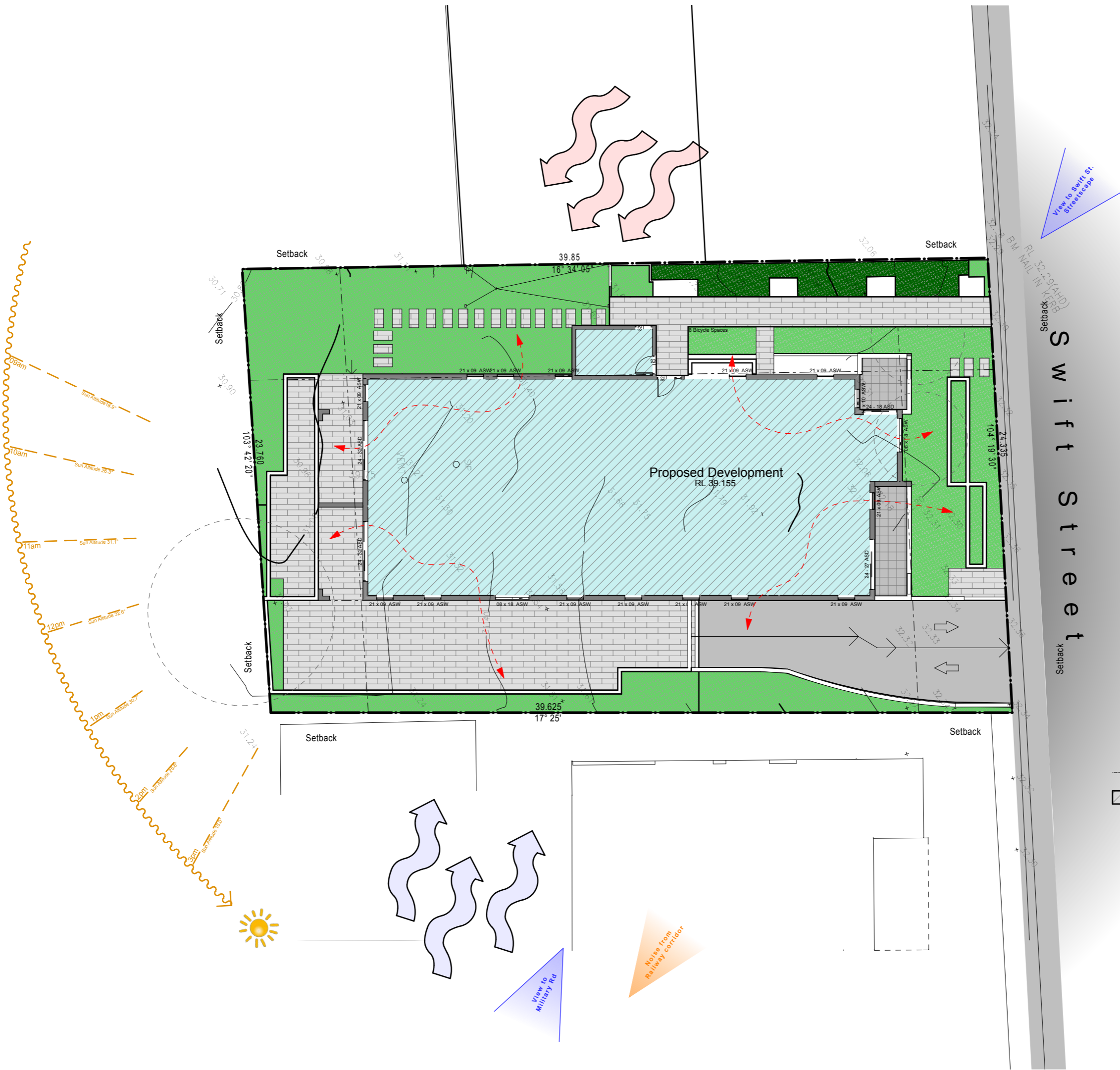
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date:
 10/09/2015

job #: **28200** dwg #: **0004**



5-7 Swift Street, Guildford



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Issue C | Defferal Letter | 1/04/2015

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 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adriaan Winton
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 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Site Analysis Study

designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

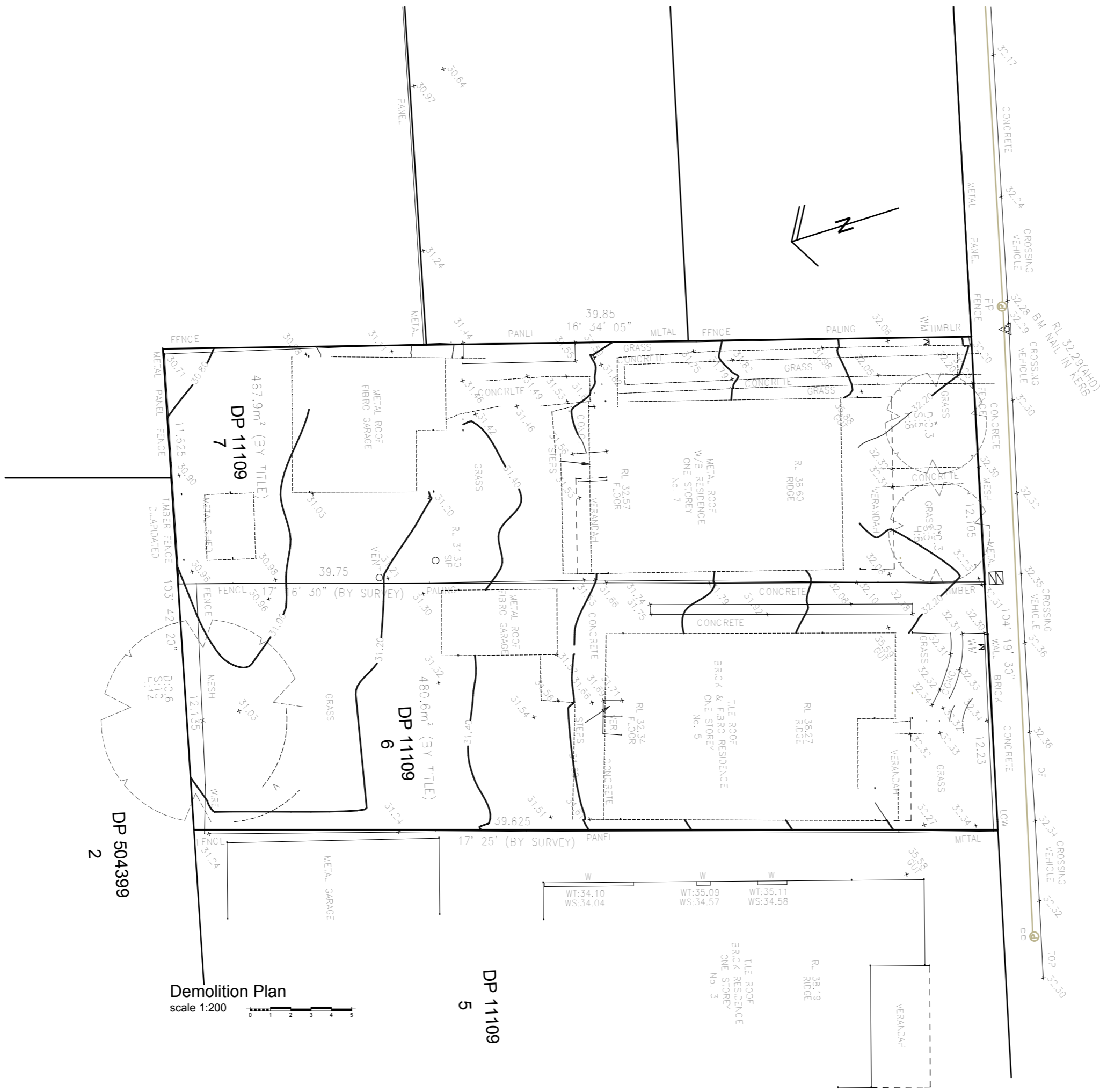
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job #: **28200** dwg #: **0005**

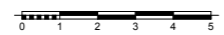
LEGEND:

- Existing trees to be removed
- Existing structures to be demolished
- Proposed Development



5-7 Swift Street, Guildford



Demolition Plan
scale 1:200



LEGEND:

-  Existing trees to be removed
-  Existing structures to be demolished

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Issue C | Defferal Letter | 1/04/2015

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 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Demolition Plan

designed + drawn:
 M. Trinh W. Hanna

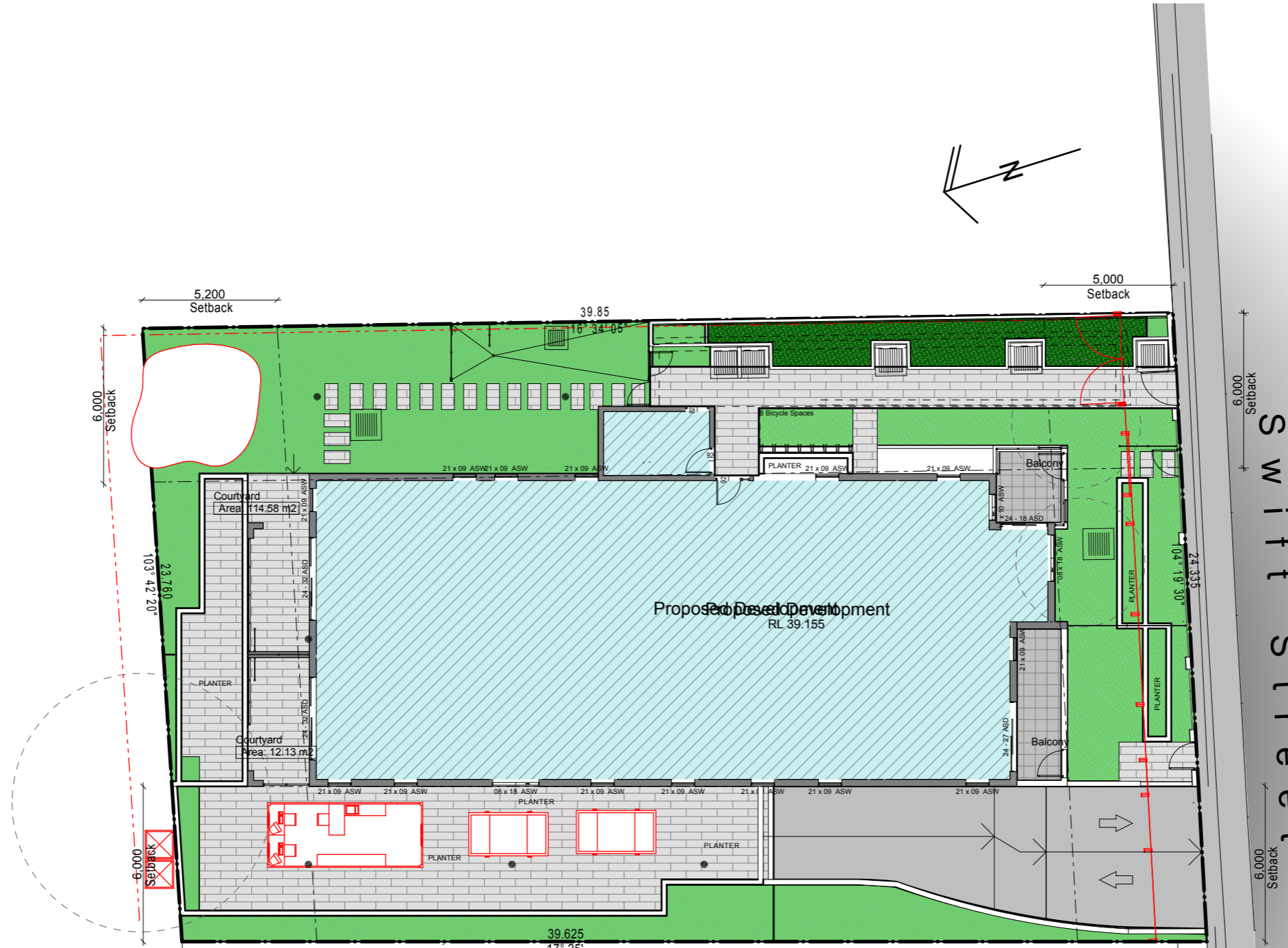
Issue/Stage:
Issue C - DA

paper/scale:
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date:
 10/09/2015




job #: **28200** dwg #: **0006**

5-7 Swift Street, Guildford

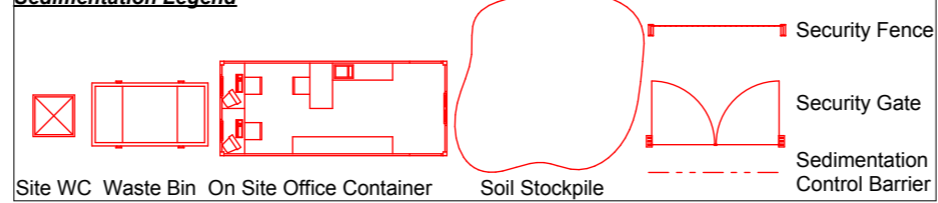


Swift Street

LEGEND:

-  Existing trees to be removed
-  Existing structures
-  Proposed Development

Sedimentation Legend



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Issue C | Defferal Letter | 1/04/2015

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client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Sedimentation Control Plan

designed + drawn:
 M. Trinh W. Hanna

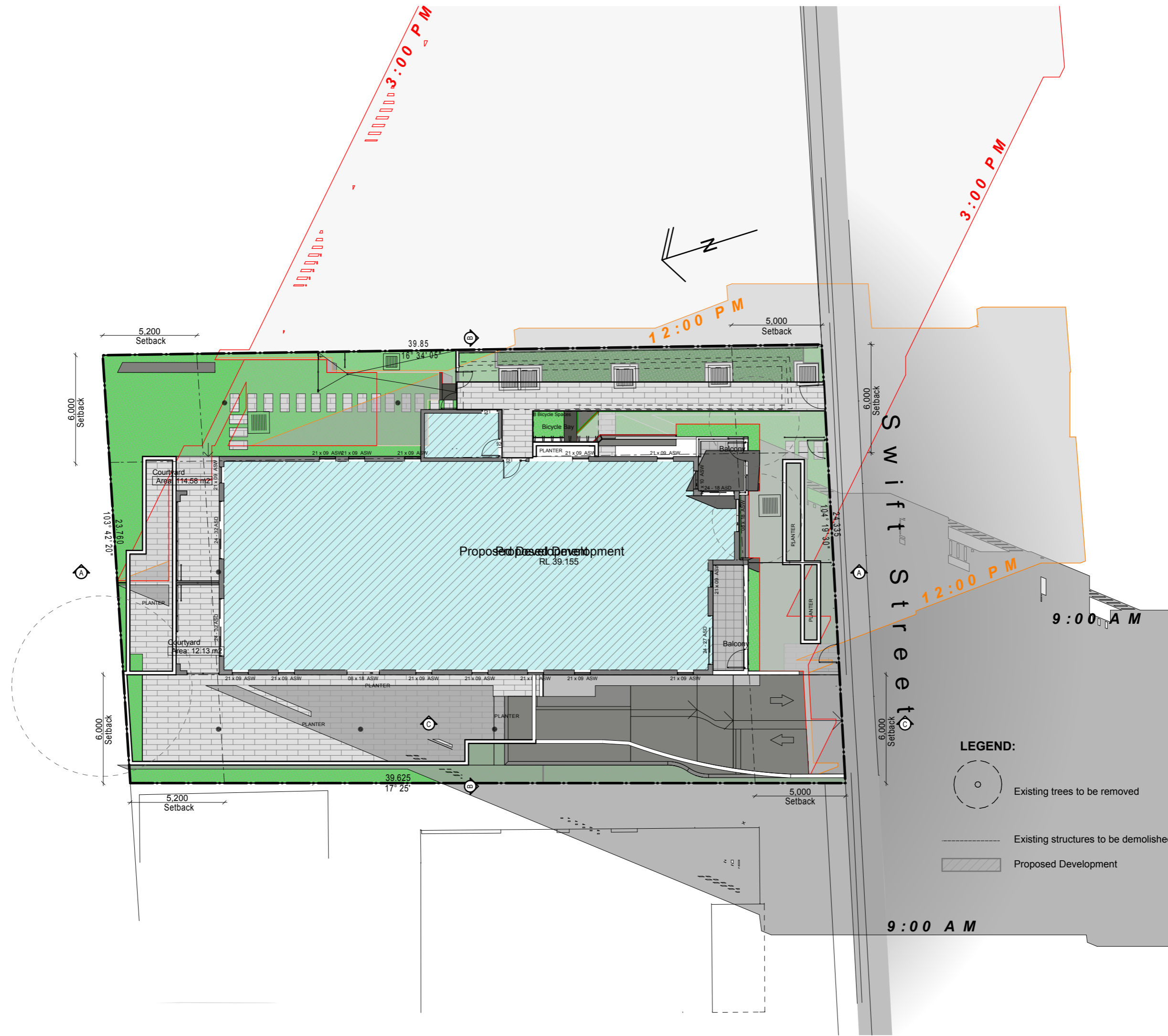
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paper/scale:
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date:
 10/09/2015

job #: **28200** dwg #: **0007**

5-7 Swift Street, Guildford



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Issue C | Defferal Letter | 1/04/2015

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council:
Parramatta City Council

drawing title:
Shadow Diagrams

designed + drawn:
M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
A3/1:200

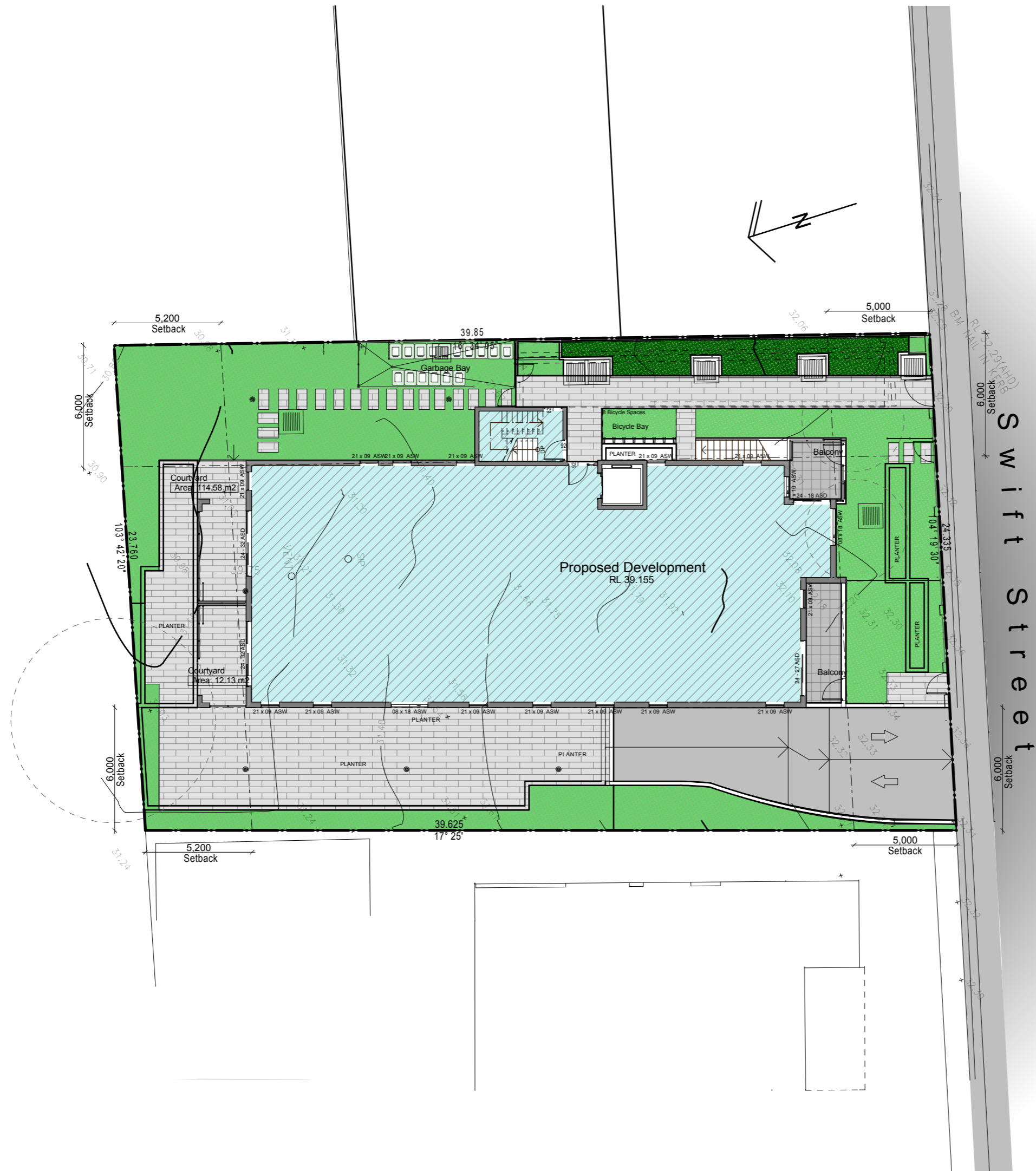
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job #: 28200	dwg #: 0008
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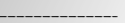

- LEGEND:**
- Existing trees to be removed
 - Existing structures to be demolished
 - Proposed Development

5-7 Swift Street, Guildford

Swift Street



LEGEND:

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Issue C | Defferal Letter | 1/04/2015

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 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd
 council:
 Parramatta City Council

drawing title:
Site Plan

designed + drawn:
 M. Trinh W. Hanna
 Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #: **28200** dwg #: **0009**

5-7 Swift Street, Guildford



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Nominated registered architect - Adrian Winton
p: 02 9548 8348 w: www.idraft.com.au
m: PO Box 427, Merrylands NSW 2160

project:
Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
BML Investments Pty Ltd

council:
Parramatta City Council

drawing title:
Basement Plan

designed + drawn:
M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
A3/1:200

date:
10/09/2015

job #: **28200** dwg #: **1001**

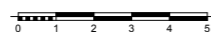
5-7 Swift Street, Guildford

Swift Street

Swift Street



Ground Floor
scale 1:200



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Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase air conditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adriaan Winton
 p: 02 9648 8348 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Ground Floor Plan

designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

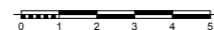
date:
 10/09/2015

job #: 28200	dwg #: 1002
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5-7 Swift Street, Guildford



Level 1
scale 1:200



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- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 8348 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Level 1

designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

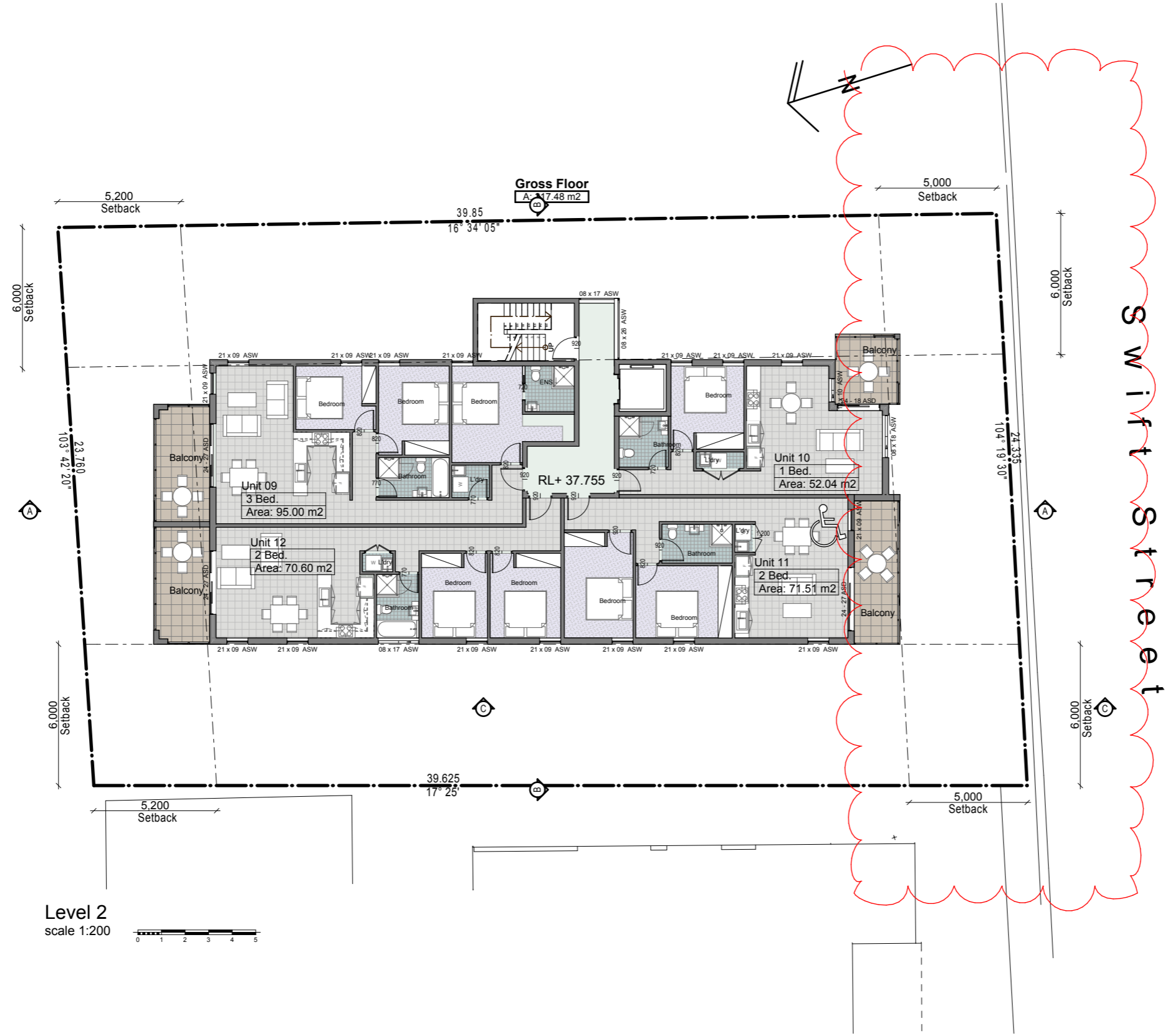
paper/scale:
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date:
 10/09/2015

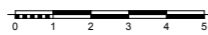
job #: 28200	dwg #: 1003
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5-7 Swift Street, Guildford

Swift Street



Level 2
scale 1:200



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- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase air conditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 9349 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Level 2

designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

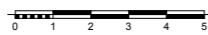
job #: **28200** dwg #: **1004**

5-7 Swift Street, Guildford

Swift Street



Level 3
scale 1:200



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- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9648 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Level 3

designed + drawn:
 M. Trinh W. Hanna

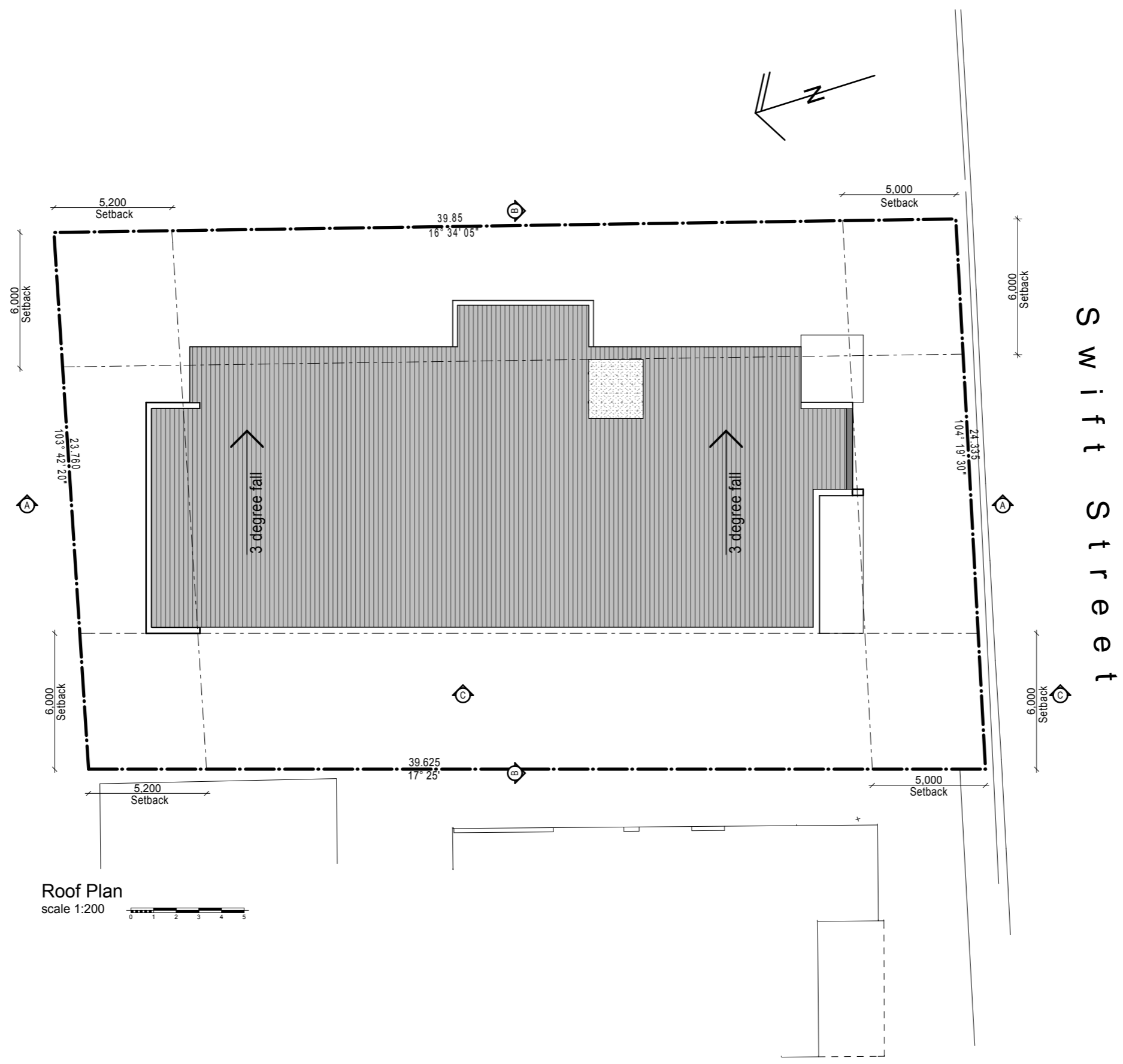
Issue/Stage:
Issue C - DA

paper/scale:
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date:
 10/09/2015

job #: **28200** dwg #: **1005**

5-7 Swift Street, Guildford



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Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9648 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2150

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Roof plan

designed + drawn:
 M. Trinh W.Hanna

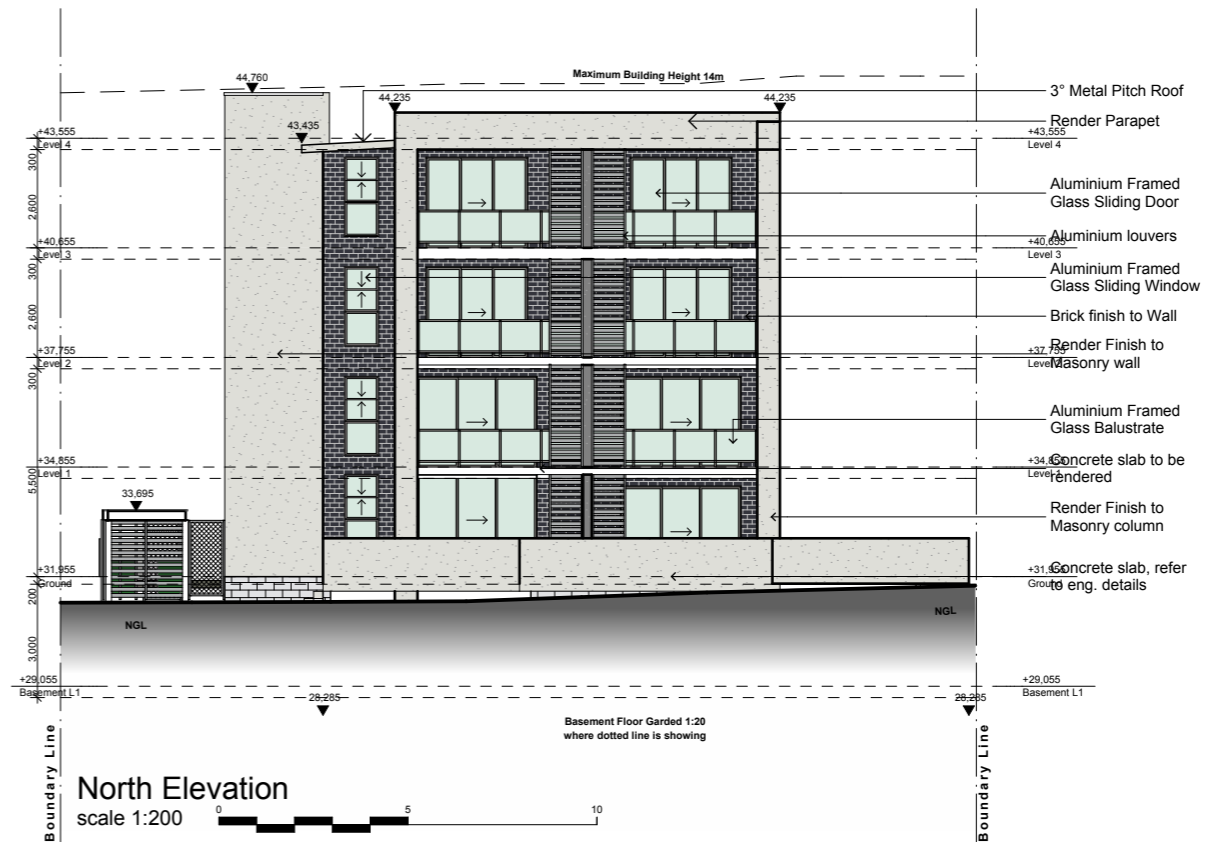
Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #: 28200	dwg #: 1006
------------------------	-----------------------

5-7 Swift Street, Guildford



Colour material schedule



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notes:

Brick Veneer medium in colour insulation RFL + R1.0

Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)

Lift walls Concrete Insulation R1.0

Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)

R1.0 insulation for concrete carpark below

Insulation R2.5 to plasterboard ceilings

Medium in colour insulation Anticon R1.0 To metal roof

Medium in colour insulation R1.0 to concrete Roof

All Plumbing Fixtures 4 Star

Hot Water system Gas instantaneous 3 star

Cooling/Heating 1 Phase airconditioning 1 star

All dwellings Gas cooktop electric oven

Toilet Rating 4 star

Taps Rating 4 Star

Basement Car park Exhaust Ventilation

Issue C | Deferral Letter | 17/04/2015

Idraft Architects Pty Ltd

NSW Architects Registration Board No: 5347
 Norminated registered architect - Adriaan Winton
 p: 02 9548 8348 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
North & South Elevations

designed + drawn:
 M. Trinh W. Hanna

Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #:
28200

dwg #:
2001

5-7 Swift Street, Guildford



West Elevations

scale 1:200



East Elevation

scale 1:200

Colour material schedule



Apollo Highres - PGH bricks to skin of building.

Render - Dulux Klavier PG1H9 to Balconies and feature elements.

Render - white render to exterior walls

Alucobond - to feature wall

Louvers, Gutters, downpipes windows and door frames - Colorbond Dune

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- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
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 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase air conditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 8348 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
East & West Elevations

designed + drawn:
 M. Trinh W. Hanna

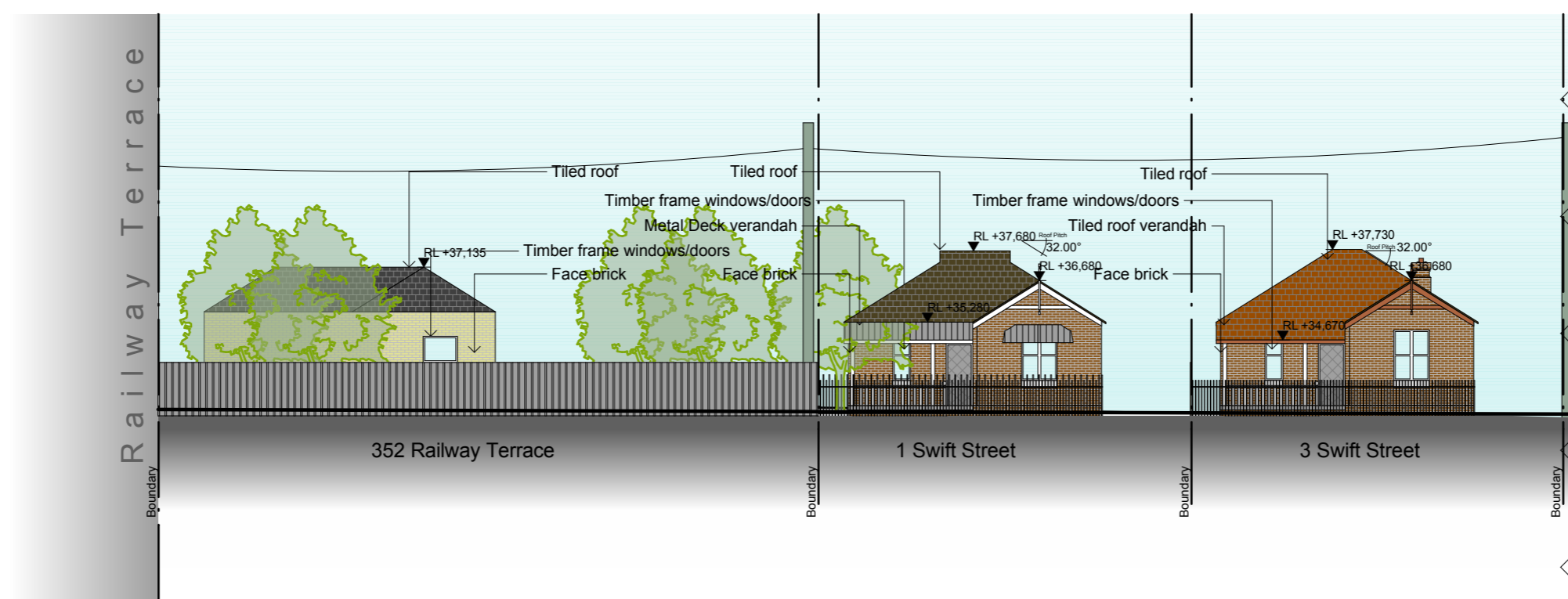
Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #: **28200** dwg #: **2002**

5-7 Swift Street, Guildford



Streetscape
scale 1:200 0 5 10

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notes:
 Brick Veneer medium in colour insulation
 RFL + R1.0
 Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 Lift walls Concrete Insulation R1.0
 Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 R1.0 Insulation for concrete carpark below
 Insulation R2.5 to plasterboard ceilings
 Medium in colour insulation Anticon R1.0 To metal roof
 Medium in colour insulation R1.0 to concrete Roof
 All Plumbing Fixtures 4 Star
 Hot Water system Gas instantaneous 3 star
 Cooling/Heating 1 Phase airconditioning 1 star
 All dwellings Gas cooktop electric oven
 Toilet Rating 4 star
 Taps Rating 4 Star
 Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adriaan Winton
 p: 02 9648 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Streetscapes

designed + drawn:
 M. Trinh W. Hanna

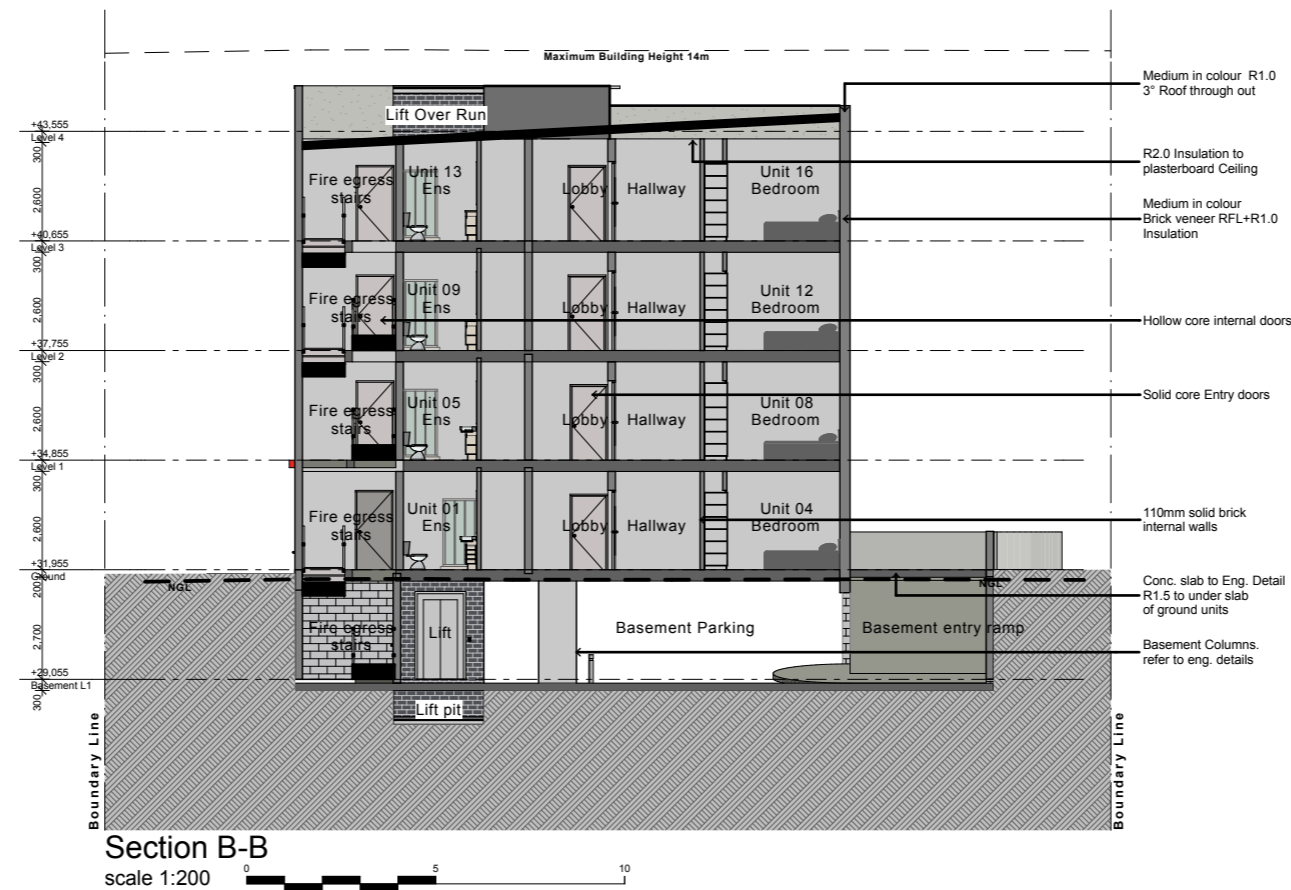
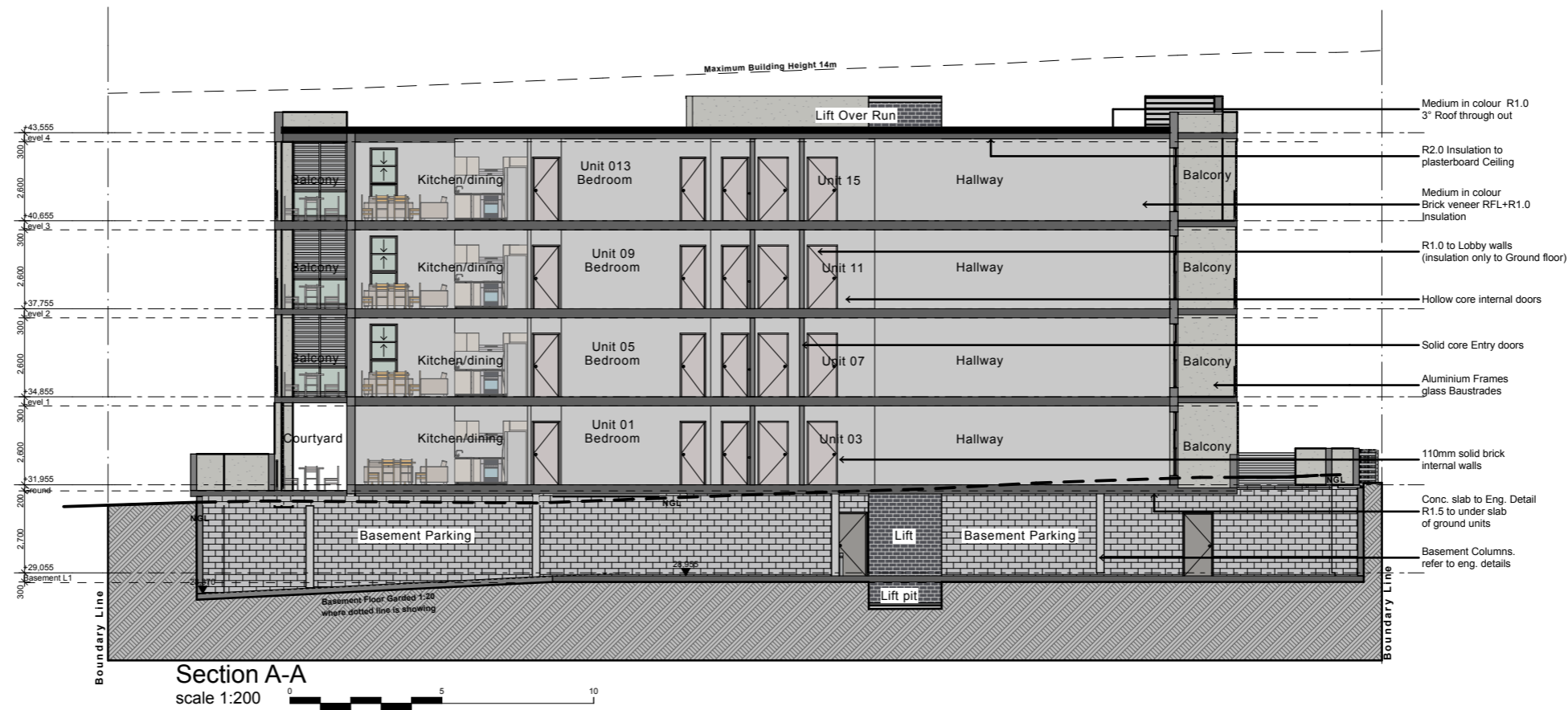
Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #: 28200	dwg #: 2003
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5-7 Swift Street, Guildford



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- notes:
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 - Lobby walls Concrete Block Insulation R1.0 (insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (insulation to unit walls only)
 - R1.0 insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9548 8848 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Sections

designed + drawn:
 M. Trinh W. Hanna

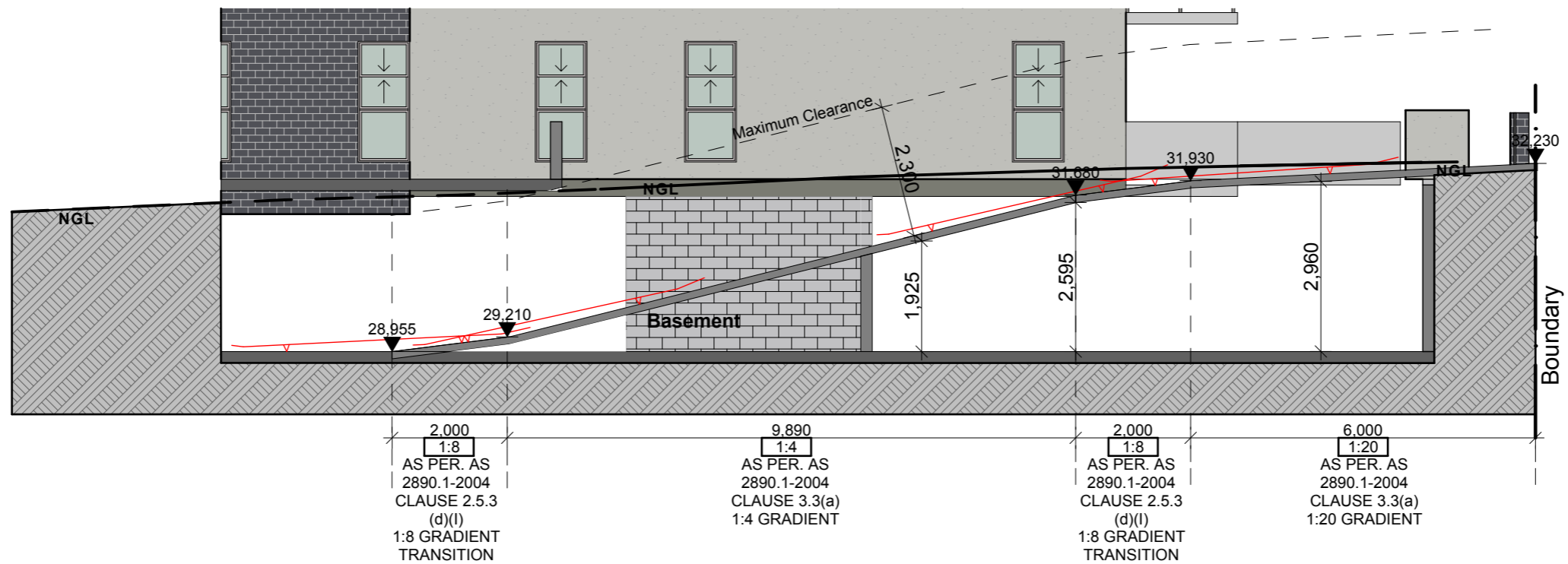
Issue/Stage:
Issue C - DA

paper/scale:
 A3/1:200

date:
 10/09/2015

job #: 28200	dwg #: 3001
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5-7 Swift Street, Guildford



Section C-C
scale 1:100



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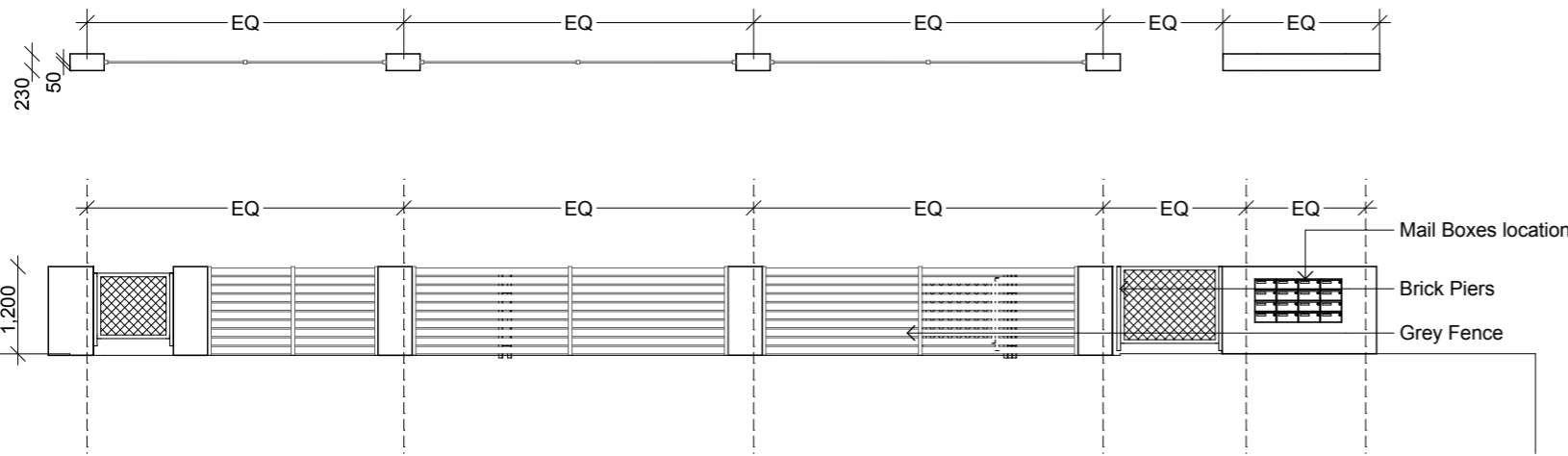
- notes:
- Brick Veneer medium in colour insulation RFL + R1.0
 - Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
 - Lift walls Concrete Insulation R1.0
 - Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
 - R1.0 Insulation for concrete carpark below
 - Insulation R2.5 to plasterboard ceilings
 - Medium in colour insulation Anticon R1.0 To metal roof
 - Medium in colour insulation R1.0 to concrete Roof
 - All Plumbing Fixtures 4 Star
 - Hot Water system Gas instantaneous 3 star
 - Cooling/Heating 1 Phase airconditioning 1 star
 - All dwellings Gas cooktop electric oven
 - Toilet Rating 4 star
 - Taps Rating 4 Star
 - Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

Idraft Architects Pty Ltd
 NSW Architects Registration Board No: 5347
 Nominated registered architect - Adrian Winton
 p: 02 9648 8348 w: www.idraft.com.au
 m: PO Box 427, Merrylands NSW 2160

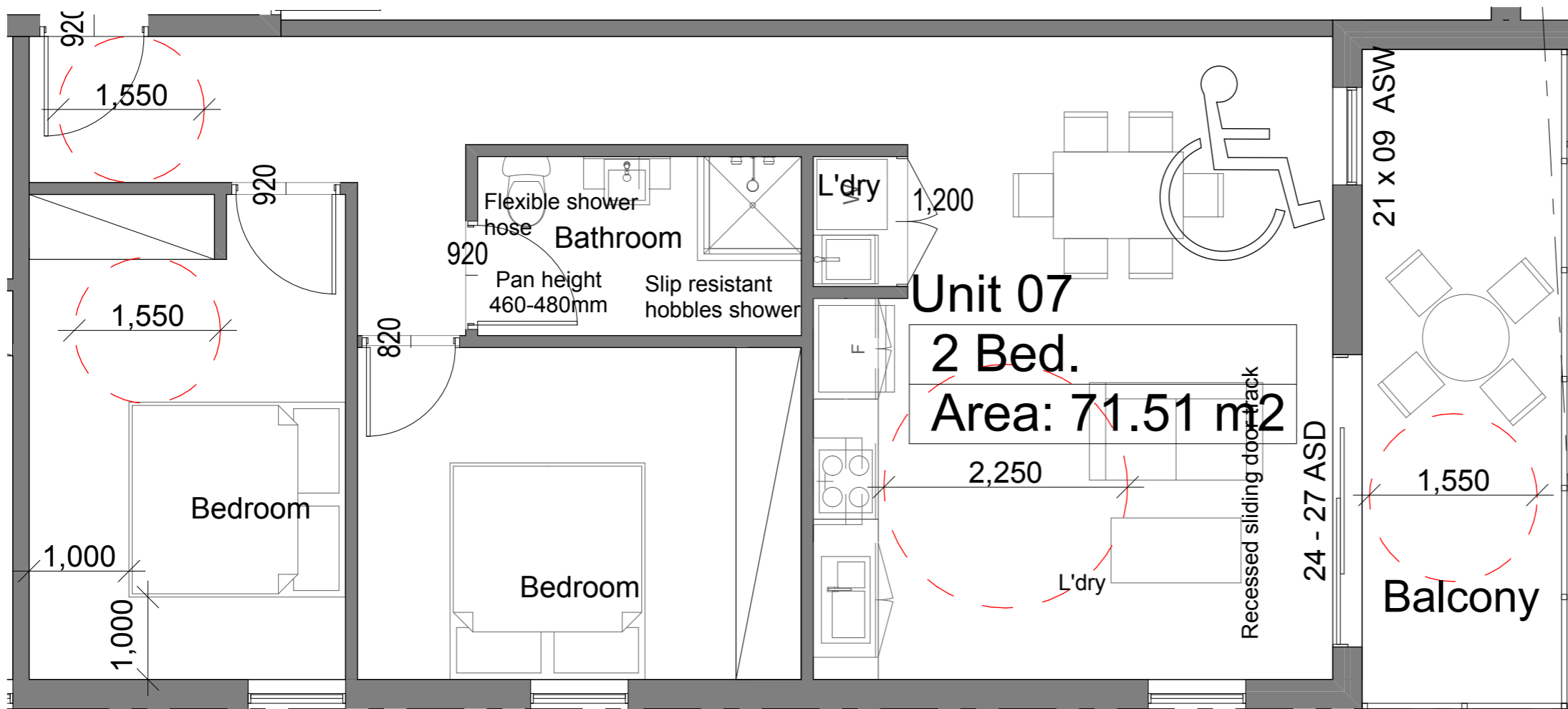
project:	Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision
client:	BML Investments Pty Ltd
council:	Parramatta City Council
drawing title:	Driveway Section
designed + drawn:	M. Trinh W. Hanna
Issue/Stage:	Issue C - DA
paper/scale:	A3/1:100
date:	10/09/2015
job #:	28200
dwg #:	3002

5-7 Swift Street, Guildford

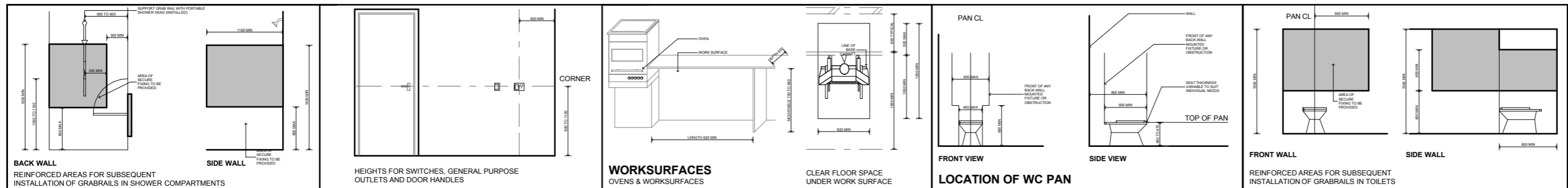


Adaptable Details, Street Fence Detail

scale 1:50, 1:100



Post Adaptable Unit Units 3 & 7



SCHEDULE OF FEATURES FOR ADAPTABLE HOUSING

ADAPTABLE HOUSE CLASS C

All essential features incorporated.

- 1 DRAWINGS
- 2 Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages
- 3 SITING
- 3 A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS1428.1
- 11 LETTERBOXES IN ESTATE DEVELOPMENTS
- 11 Letterboxes to be on hard standing area connected to accessible pathway
- 14 PRIVATE CAR ACCOMMODATION
- 14 Carparking space or garage min. area 6.0m x 3.8m
- 14 ACCESSIBLE ENTRY
- 20 Accessible entry
- 22 Accessible entry to be level (i.e. max. 1:40 slope)
- 23 Threshold to be low-level
- 24 Landings to enable wheelchair manoeuvrability
- 25 Accessible entry door to have 850mm min clearance
- 27 Door lever handles and hardware to AS 1428.1
- 27 INTERIOR GENERAL
- 32 Internal doors to have 820 mm min clearance
- 32 Internal corridors min. width of 1000mm
- 34 Provision for compliance with AS 1428.1 for door approaches
- 34 LIVING ROOM & DINING ROOM
- 36 Provision for circulation space of min 2250mm diameter
- 38 Telephone adjacent to GPO
- 41 Potential illumination level min 300 lux
- 41 KITCHEN
- 42 Minimum width 2.7m (1550mm clear between benches)
- 43 Provision for circulation at doors to comply with AS 1428.1
- 44 Provision for benches planned to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable. refer to Figure 4.6
- 45 Refrigerator adjacent to work surface
- 46 Kitchen sink adjustable to heights from 750mm to 850mm or replaceable
- 47 Kitchen sink bowl max 150mm deep
- 48 Tap set capstan or lever handles or lever mixer
- 49 Tap set located within 300mm of front of sink
- 51 Cooktops to include either front or side controls with raised cross bars
- 52 Cooktops to include isolating switch
- 53 Work surface min 800mm length adjacent to cooktop at same height
- 54 Oven located adjacent to an adjustable height or replaceable work surface
- 59 GPOs to comply with AS 1428.1. At least one double GPO with 300mm of front of work surface
- 60 Slip-resistant floor surface
- 61 MAIN BEDROOM
- 62 At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2
- 62 BATHROOM
- 75 Provision for bathroom area to comply with as 1428.1
- 76 Slip-resistant floor surface
- 76 Shower recess - no hob. Minimum size 1160 x 1100 to comply with AS 1428.1.
- 77 Shower area waterproofed to AS 3740 with floor to fall to waste
- 79 Recessed soap holder
- 80 Shower taps positioned for easy reach to access side of shower sliding track
- 82 Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall-strengthening provision)
- 83 Provision for grabrail in shower to comply with AS 1428.1
- 86 Tap sets to be capstan or lever handles with single outlet
- 88 Provision for washbasin with clearance to comply with AS 1428.1
- 90 Double GPO beside mirror
- 92 TOILET
- 92 Provision of either 'visible toilet' or accessible toilet
- 93 Provision to comply with AS 1428.1
- 94 Location of WC pan at correct distance from fixed walls
- 95 Provision for grab rail zone.
- 96 Slip resistant floor surface (Vitreous tiles or similar).
- 96 LAUNDRY
- 98 Circulation at doors to comply with AS 1428.1
- 99 Provision for adequate circulation space in front of or beside appliances (min 1550 mm depth)
- 100 Provision for automatic washing machine
- 102 Where clothes line is provided an accessible path of travel to this
- 105 Double GPO
- 108 Slip-resistant floor surface
- 108 DOOR LOCKS
- 110 Door hardware operable with one hand, located 900-1100mm above floor.

All work to be carried out in accordance with BCA, AS & Council conditions.
Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, FC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.
Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

- notes:
- 76 Brick Veneer medium in colour insulation R1.0 (RFL + R1.0)
- 77 Lobby walls Concrete Block Insulation R1.0 (insulation to level 5 only)
- 82 Lift walls Concrete Insulation R1.0
- 86 Stair Walls Concrete Block Insulation R1.0 (insulation to unit walls only)
- 90 R1.0 insulation for concrete carpark below
- 92 Insulation R2.5 to plasterboard ceilings
- 94 Medium in colour insulation Aricon R1.0 To metal roof
- 96 Medium in colour insulation R1.0 to concrete Roof
- 98 All Plumbing Fixtures 4 Star 4.8
- 99 Hot Water system Gas instantaneous 3 star
- 102 Cooling/Heating 1 Phase airconditioning 1 star
- 108 All dwellings Gas cooktop electric oven
- 110 Toilet Rating 4 star
- 110 Taps Rating 4 Star
- Basement Car park Exhaust Ventilation

Issue C | Defferal Letter | 1/04/2015

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project:
 Demolition, tree removal & construction of a four (4) storey residential flat building containing 16 units over basement parking including strata subdivision

client:
 BML Investments Pty Ltd

council:
 Parramatta City Council

drawing title:
Adaptation & Fence Details

designed + drawn:
 M. Trinh W. Hanna

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