Development Application Demolition, tree removal & construction of a four (4) storey residental flat building containing 16 units over 1 levels of parking 5 - 7 Swift Street, Guildford ford



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NO GO

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Calculations

Unit Breakdown

				Unit Schedule - Grou	nd	P	OS Schedule
		Unit Number	Unit Type	Measured Area (m2)		Zone Number	POS Area (m2)
Site Details		Unit 01	3 Bed	95.01			135.47
5 - 7 Swift Street, Guildford		Unit 02	1 Bed	52.03		Unit 01	114.58
DP & Lot:	DP11109, Lot 6	Unit 03	2 Bed	71.51	Adaptable	Unit 02	8.33
	DP11109, Lot 7	Unit 04	2 Bed	70.60		Unit 03	10.43
			•	Unit Schedule - Level	1	level	1 POS Schedule
Site area:	984.5m ²	Unit Number	Unit Type	Measured Area (m2)		Zone Number	POS Area (m2)
Frontage:	27.215m	Unit 05	3 Bed	95.01		Unit 05	12.13
Current Use:	Residential	Unit 06	1 Bed	52.04		Unit 06	8.21
	$237m^2$	Unit 07	2 Bed	71.51	Adaptable	Unit 07	11.83
Existing Gross Floor Area:	237111-	Unit 08	2 Bed	70.60		Unit 08	12.13
				Unit Schedule - Level	2		chedule - Level 2
Eloor Space		Unit Number	Unit Type	Measured Area (m2)		Zone Number	POS Area (m2)
Floor Space	-	Unit 09	3 Bed	95.00		Unit 09	12.13
Zone:	R4	Unit 10	1 Bed	52.04		Unit 10	8.21
=SR:	1.4:1	Unit 11	2 Bed	71.51		Unit 11	11.83
Max Area	1378.3m ²	Unit 12	2 Bed	70.60		Unit 12	12.13
				Unit Schedule - Level	3		Schedule - level 3
		Unit Number	Unit Type	Measured Area (m2)		Zone Number	POS Area (m2)
_ /		Unit 13	3 Bed	94.22		Unit 13	12.13
Proposed		Unit 13		52.04		Unit 13	8.32
Ground Floor	317.48m²		1 Bed 2 Bed	71.51		Unit 14	8.32 11.83
Level 1	317.48m²	Unit 15 Unit 16		70.60			12.13
Level 2	317.48m²	Unit 16	2 Bed	70.60		Unit 16	12.13
Level 3	317.48m²						
Total	1269.92m ²						
Proposed FSR	1.27: 1						
ropesed i ork	1.27. 1						
		_					
Landscaping							
Required Deep Soil	30% of Site Area 295.35m ²						
Proposed Deep Soil	30% of Site Area 297.00m ²						
Required Landscaped Area	30% of Site Area 295.35m ²						
Proposed Landscaped Area	41% of Site Area 402.15m ²						
	\searrow						
		\sim					
Onsite Parking							
Nithin 400m of Guildford Train Sta	tion						
Required		1					
1 space per 1&2 Bedrooms	x12	1					
	x12 x4						
1.2 space per 3 Bedroom							
0.25 per visitor	x4	1					
		1					
Total Car Crasses Described	20	1					
Total Car Spaces Required	20	1					
Total Car Spaces Provided	21						
		1					
		1					
Adaptable Units							
Vinimum requirements	Minimum 10%	1					
	2 units (12.5%)	1					
roposed							
Proposed	2 units (12.570)						



Schodula of DACIV commitments					Ch.	Channe	0	ier Common area ventilation system Common area lighting All work to be
Schedule of BASIX commitments The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any develop	ment conso	ent granted or comr	lvina		Show on DA plans	Show on CC/CDC plans & specs	Certifier check	Common area Ventilation system type Ventilation efficiency Primary type of artificial Lighting efficiency Lighting control accordance with BC
evelopment certificate issued, for the proposed development, that BASIX commitments be complied with.	PITICITE CONSE	ni granieu, ur compl	'yaig	(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.				Car park ventilation (supply + carbon monoxide monitor + fluorescent time dock and motion sensors conditions.
Commitments for Residential flat buildings - 5-7 Swift				(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development		~	~	Lift car (No. 1) - light-emitting diode connected to lift call button No copyright of Idraft G
Dwellings				certificate which were used to calculate those specifications. (g) Where there is an in-slab heating or cooling system, the applicant must:				Ground floor Lobby no mechanical ventilation - compact fluorescent time clock and motion sensors or duplication in part
) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	~	~	×	Lobby (L1-L3) no mechanical ventilation - compact fluorescent time clock and motion No Ltd constitutes an copyright. Do not sca
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling				(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.				drawings. These note
b) The applicant must plant indugenous so now water bespecies or regulation induginous the area of nand specified or line owening in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~		(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	~	~	~	Central energy systems Type Specification conjunction with color additional details on Lift (No. 1) geared traction with V V A C Number of levels (including basement): 5
) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~					items & shower size are inside hob din
The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~	Thermal loads				4. Commitments for common areas and central systems/facilities for the development (non-building specific) screens to be fitted bulkheads may be
The applicant must install:				Dwelling no. Area adjusted heating load (in mJ/m²/yr) Area adjusted cooling 1 36.2 16.8	g load (in mJ/	/m²/yr)		(b) Common areas and central systems/facilities accommodate draina
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below, and		 	 ✓ 	2 62.4 17.0				(i) Water Show on Show on CC/CDC Certifier site. Use figured dime
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		 Image: A set of the set of the	 	3 40.2 13.5 4 28.6 17.7				DA plans plans & specs check not scale. Finished (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that shown on plans are
The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	 Image: A second s	 ✓ 		5 21.0 22.2 7 17.9 17.0				Intern maximere ure speculications instead on a more state.
If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		 Image: A start of the start of		17.5 17.5 8 12.6 22.0				Contral systems' column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.
The pool or spa must be located as specified in the table.	v	 Image: A set of the set of the		9 20.3 20.7 11 17.0 22.3				(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.
The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in he table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	 ✓ 	 ✓ 	12 11.9 21.0				(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. site in accordance to i front garden tap on me
Fixtures Appliances Individual poo	ol	Individ	ual spa	13 35.8 17.5 14 49.1 24.1				(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.
ing All All toilet All All HW All All dish- Volume Pool Pool	Pool	Volume Spa		15 21.6 16.5				(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. Water conservation rainwater tanks show
heads systems taps taps or diversion washers volume)	Shaded	d (max cov volume)	- Shaueu	Thermal loads				tap flow regulators, d cisterns & compliant h
4.5 but <= 6	-	· · ·	-	Dwelling no. Area adjusted heating load (in mJ/m²lyr) Area adjusted cooling 16 25.7 23.8	g load (in mJ	/m²/yr)		Common area Showerheads rating Tollets rating Taps rating Clothes washers rating with miniumum gree as a stress of the stress of
L'min)				16 25.7 25.8 All other dwellings 41.1 20.8				All common an common facility no common facility no common facility no common facility no common facility areas are to be development. All
				(b) Common areas and central systems/facilities				(ii) Energy Show an OCCOC Contifuer washing machines v
Alternative water source g no. Alternative water Size Configuration Landscape Toilet	Laun	ndry Pool	Spa top-up	(i) Water	Show on	Show on CC/CDC	Certifier	ing energy on show on cucuo Carrier DA plans a spece check where possible.
supply systems connection (s)	ction conn	lection top-up		(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that	DA plans	plans & specs	check	below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure
· · · · ·	-	-	-	(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the		V	~	opconect
ergy		Show on CC/CDC		(i) The approach individual individual individual individual or environments are indevidually and individually statistic count of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	~	~	~	The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. (Insulation to level 5 only)
he applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	DA plans	plans & specs	check	(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	~	 		(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.
e applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is pplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that	~	~	~	(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		~		Notes (resultion to unit walls only)
ntral system to the dwelling, so that the dwelling's hot water is supplied by that central system. e applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in		+	-	(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		~	~	
table below. Each such ventilation system must have the operation control specified for it in the table.			~	(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		~	~	1. In these commitments, "applicant" means the person carrying out the development. 2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and To motel and
as" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in		~	 ✓ 				-	Specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
y such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night ning between living areas and bedrooms.				Common area Showerheads rating Toilets rating Taps rating Clo	thes washer	s rating		3. This note applies if the proposed development involves the erection of a building for both residential and non-residential aurposes (or three residential aurposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of a building or the development, apply only to that part of a building or the development, apply only to that part of a building or both area of the development, apply only to that part of a building or the development.
his commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of te table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial phing" for each such room in the dwelling is fluorescent lighting or light emitting dided (LED) lighting. If the term "decirated" is		 ✓ 	~		common laun			the building or development to be used for residential purposes. 4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that Hot Water system Gas instantance
gnung for each such room in the owening is thuorescent lighting or light emitting diode (LEU) lighting. If the term 'dedicated' is pecified for a particular room or area, then the light fittings in that room or area must only be capable of being used for uorescent lighting or light emitting diode (LED) lighting.								system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building). 5. If a star or other rating is specified in a commitment, this is a minimum rating. Cooling/Heating 1 Phase aircond
nergy		Show on CC/CDC		(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: All dwellings Gas cookdop electric NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for
his commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of	DA plans	plans & specs	check	(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure executing		~	~	Interview Consumption Interview Totel Rating 4 star Tags Rating 4 Star Tags Rating 4 Star
he table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is itted with a window and/or skylight.			~	specified. (b) In carrying out the development, the applicant must install, as the "primary type of antificial lighting" for each common area (b) In carrying out the development, the applicant must install, as the "primary type of antificial lighting" for each common area				Legend Basement Car park Extra usl Ven
This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install				specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		•		1. Commitments identified with a " T in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a
any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install		× .		(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	~	~	~	development application is to be lodged for the proposed development).
any system for the spa). If specified, the applicant must install a timer to control the spa's pump.					•		•	Commindents identified with a in the in the show of CCCCC plans and specil count in the plans and specilications accompanying the application for a construction certificate / complying development certificate for the proposed development. Issue C Defferral Le
 (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; 		~						3. Commitments identified with a * w in the *Certifier check* column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an corrusping certificate clicker integret or fault for a hit/isino listed in this certificate a certifying authority must not issue an corrusping certificate clicker integret or fault for a hit/isino listed in this certificate can cert a such as the corrusping certificate clicker integret or fault for a hit/isino listed in this certificate can cert a such as the corrusping certificate certificate can cert as the corrusping certificate cer
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and								it is required to monitor in relation to the building or part, has been fulfilled).
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.								To Architec
specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well entilated".		- <u> </u>		-				NSW Architects Registratio
				-				Diminated registered archi
Hot water Bathroom ventilation system Kitchen ventilation system		Laundry ventilation s	system					m: PO Box 427, Menylands
ing Hot water system Each bathroom Operation control Each kitchen Operation control	Each lau		ation control					Demolition, tr
gas instantaneous 5 individual fan, ducted manual switch on/off individual fan, ducted manual switch on/off to façade or roof to façade or roof	individual to façade	al fan, ducted manua	al switch on/off	,				Tremoval & co
gs star to façade or root to façade or root to façade or root Artificial lighting	in iačage		atural lighting	1				of a four (4) s
g living areas bedroom living areas bedroom No. of No. of Each All areas areas bedrooms living &/or kitchen bathrooms	Each s/ laundry	All No. hallways bat	. of Main throoms kitche					residential flat
areas bedrooms living &/or kitchen bathrooms dining rooms toilets		&/c toi	or lets					Containing 16
1-phase - 1-phase airconditioning - 0 0 yes yes	yes	yes 0	no					
2.5 Star (new rating) 2.5 Star (new rating)								including stra
1-phase - 1-phase - 0 0 no yes airconditioning airconditioning 2.6 Strat form	yes	yes 0	yes					subdivision
2.5 Star (new rating)								BML Investm
				_				Der Pty Ltd
	ncy measure:	S	Drivoto					
Individual pool Individual spa Appliances & other efficient	washer dr	ryer sheltered clothes	outdoor or unsheltered					Parrmatta C
Individual pool Individual spa Appliances & other efficie Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Well ventilated Dishwasher of tridde		drying line	clothes drying line					- Council
Individual pool Individual spa Appliances & other efficio Pool heating system Timer Spa heating system Timer System Timer Spa heating System S								
Individual pool Individual spa Appliances & other efficier Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Well ventilated fridge space Dishwasher C • • • gas cooktop & electric oven • no 2.5 star •		yes	no					¹ I Pooix Com
Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Weil ventilated space Dishwasher C v - - - gas cooktop & - no 2.5 star -		yes	no					Basix Collin
g Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Weil ventilated space Dishwasher C s - - gas cooktop & electric oven - no 2.5 star -		yes Show on CC/CDC						
g Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Weil ventilated space Dishwasher C s - - gas cooktop & electric oven - no 2.5 star -		yes Show on CC/CDC plans & specs	no Certifier check]				designed + drawn:
g Pool heating system Timer System Spa heating System Timer System Kitchen cooktop/oven Refrigerator (stigge space) Well ventilated space Dishwasher V C ps - - gas cooktop & electric oven - no 2.5 star -								بیت ایس designed + drawn: سی M.Trinh W.H
g Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Well ventilated space Dishwasher C gs • • • gas cooktop & electric oven • no 2.5 star • rmal Comfort e applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the sessor Certificate") to the development application and construction certificate application for the proposed development (or, if a applicant is applying for a complying development certificate for the proposed development, to that application for a final cocupation certificate for the application for a final cocupation certificate for the proposed development.								designed + drawn: M. Trinh W.H Issue/Stage:
Image Pool heating system Timer system Spa heating system Timer cooktop/oven Refrigerator Weil ventilated ventilated ventilated space Dishwasher over ventilated ventilated space Ventilated ventilated ventilated ventilated space Dishwasher over ventilated								designed + drawn: M.Trinh W.H Issue/Stage: Issue C - D/ paper/scale:
Image Pool heating system Timer system Spa heating system Timer Timer Kitchen cooktop/oven Refrigerator Weil ventilated space Dishwasher C v gg - - - - gas cooktop/oven no 2.5 star - ermal Comfort - - - gas cooktop & electric oven - no 2.5 star - remail Comfort - - - - gas cooktop & electric oven - no 2.5 star - remail Comfort - - - - gas cooktop & electric oven - no 2.5 star - remail Comfort - - - - gas cooktop & electric oven - no 2.5 star -								designed + drawn: M.Trinh W.H Issue/Stage: Issue C - DA
ing Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Well ventilated space Ventilated space 2.5 star -								designed + drawn: M.Trinh W.H Issue/Stage: Issue C - D/ paper/scale: A3/1:2.19 date:
Ing Pool heating system Timer Spa heating system Timer Kitchen cooktop/oven Refrigerator Weil venilated space Dishwasher C ngs - - - gas cooktop & electric oven - no 2.5 star - Args - - - gas cooktop & electric oven - no 2.5 star - Args - - - gas cooktop & electric oven - no 2.5 star - Args - - - gas cooktop & electric oven - no 2.5 star - Args - - - gas cooktop & electric oven - no 2.5 star - Args - - - - gas cooktop & electric oven - no 2.5 star - Args - - - - gas cooktop & electric oven - no 1.5 star - Args - - - -								M.Trinh W.H. Issue/Stage: Issue C - DA paper/scale:

	Hot wa	ater	Bathroom v	Bathroom ventilation system			Kitchen ventilation system				Laundry ventilation system					
Dwelling no.	Hot water sy	/stem	Each bathroom	Operation co	Operation control		ch kitchen	chen Operation control		Each laundry		Operation control				
All dwellings	gas instantar star	neous 5	individual fan, ducted to façade or roof	manual switch	manual switch on/off				ividual fan, ducte açade or roof	d	manual	switch on/off	individual fa to façade or		manual switch	on/off
	Coo	oling	He	ating					Artificial	lighting			Natural lig	ghting		
Dwelling no.	living areas	bedroom areas	I living areas	bedroom areas	No. of bedroo &/or stu		No. of living &/or dining rooms	Eac kitc	:h :hen	All bathrooms/ toilets	Each Iaundry	All hallways	No. of bathrooms &/or toilets	Main kitche		
1, 3, 5, 7, 9, 11, 13, 15	1-phase airconditioning 2.5 Star (new rating)	-	1-phase airconditioning 2.5 Star (new rating)	-	0		0	yes		yes	yes	yes	0	no		
2, 4, 6, 8, 10, 12, 14, 16	1-phase airconditioning 2.5 Star (new rating)	-	1-phase airconditioning 2.5 Star (new rating)	-	0		0	no		yes	yes	yes	0	yes		

	Individual po	bol	Individual s	ра		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	2.5 star	•	•	yes	no	

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate) (the "Assessor Certificate) to the development application and construction certificate application the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application and construction certificate or the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certly that this is the case.			





Direction of Overland flow (drainage)	1
Route to Public Amenities	I
Route to Public Transport	ł

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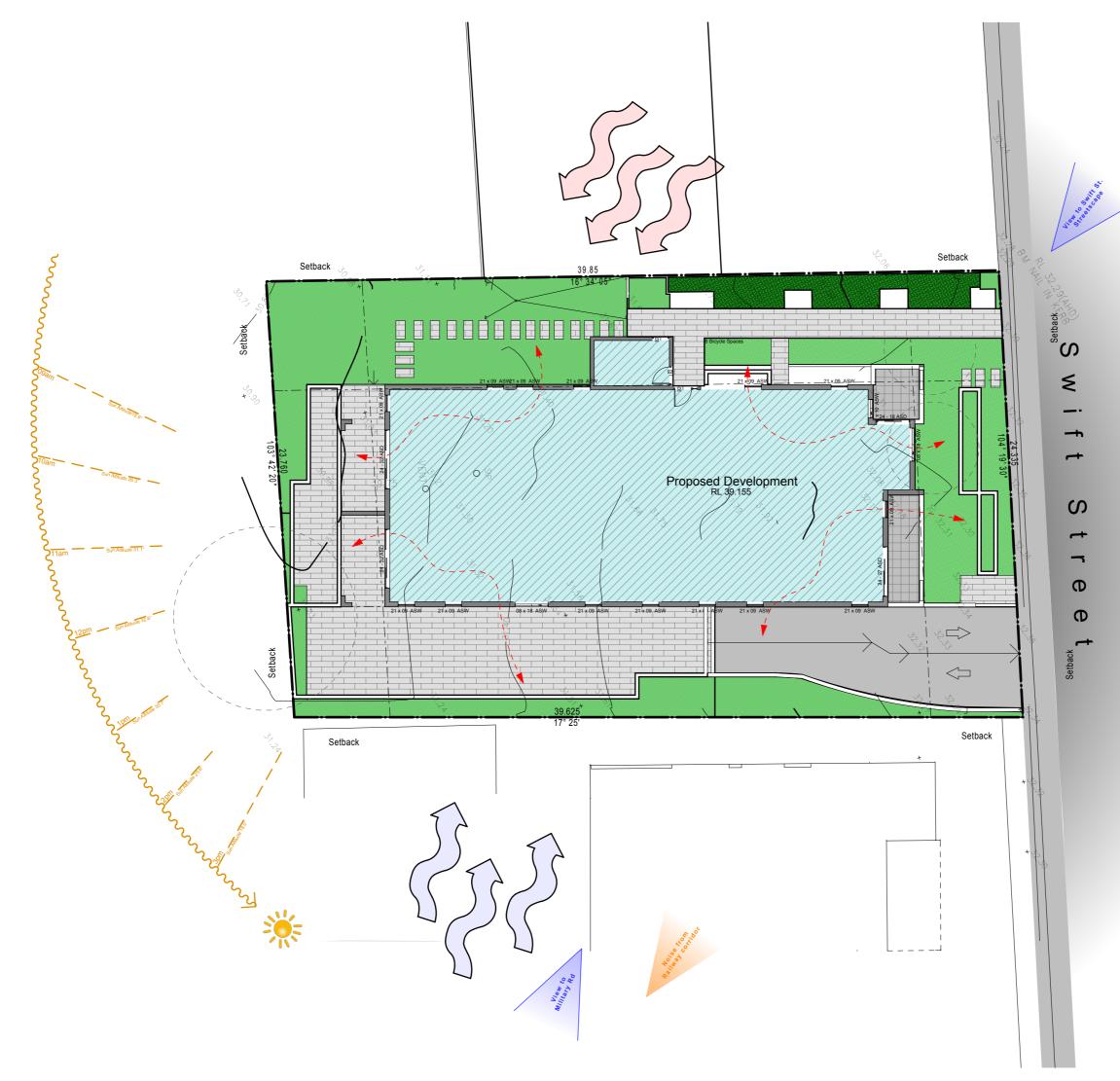
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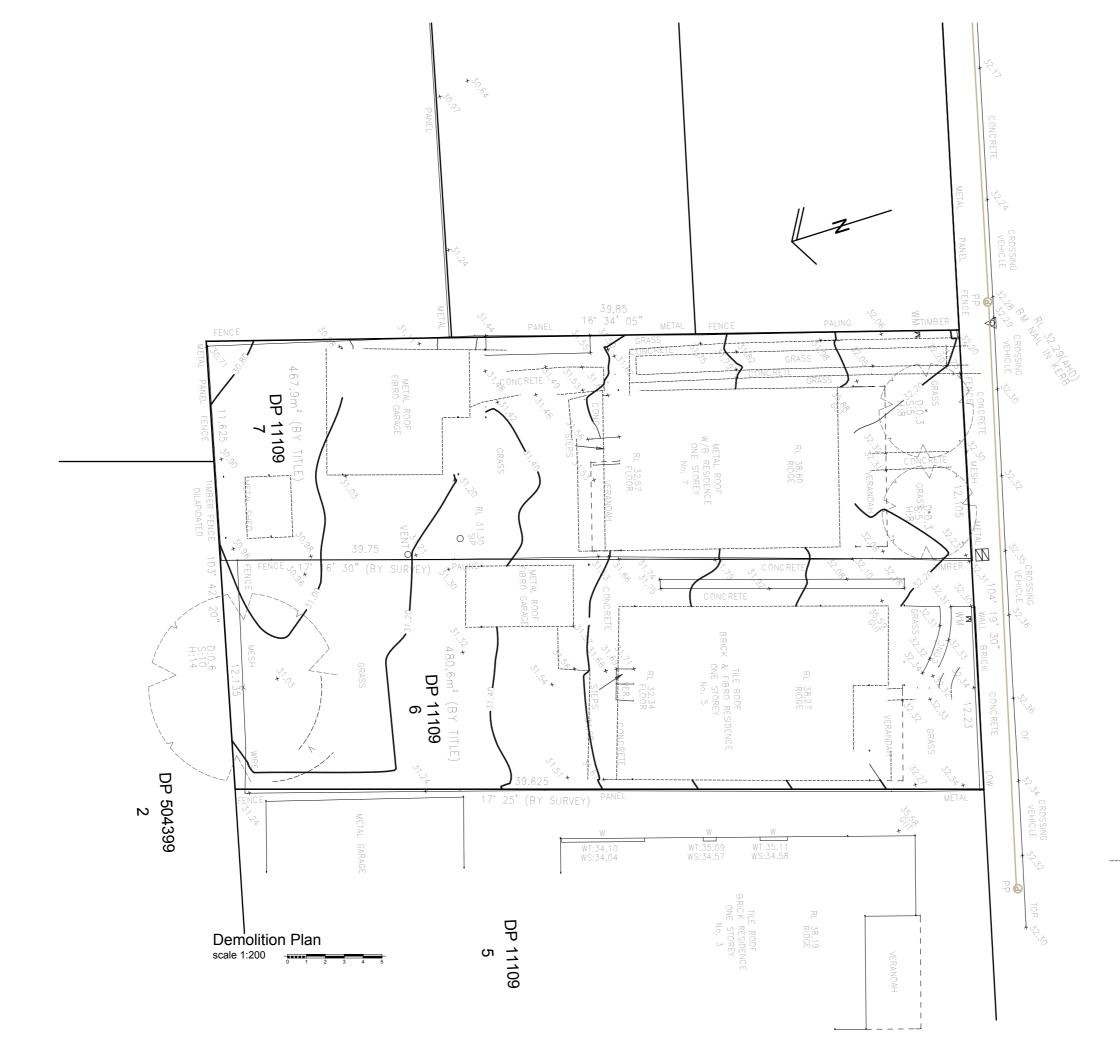
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Existing trees to be remove



Existing structures to be de

Proposed Development



LEGEND:

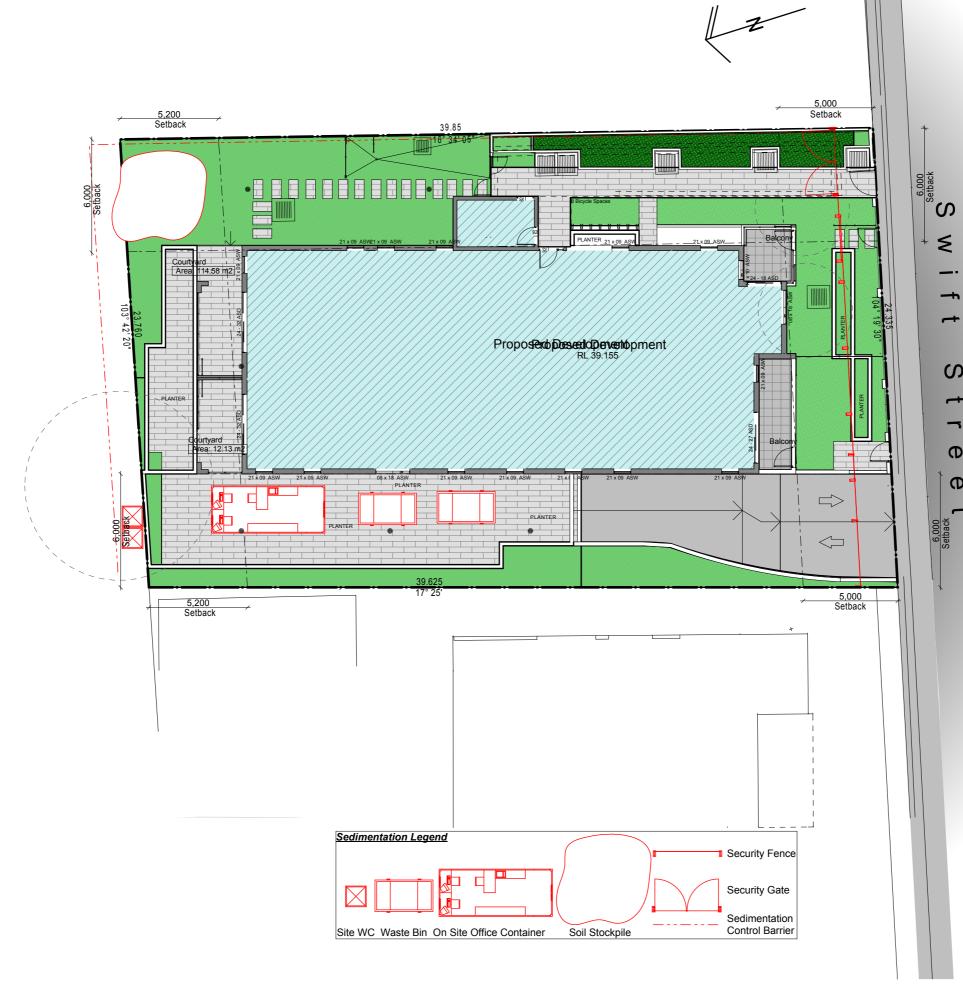
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Existing trees to be removed

Existing structures to be demolis

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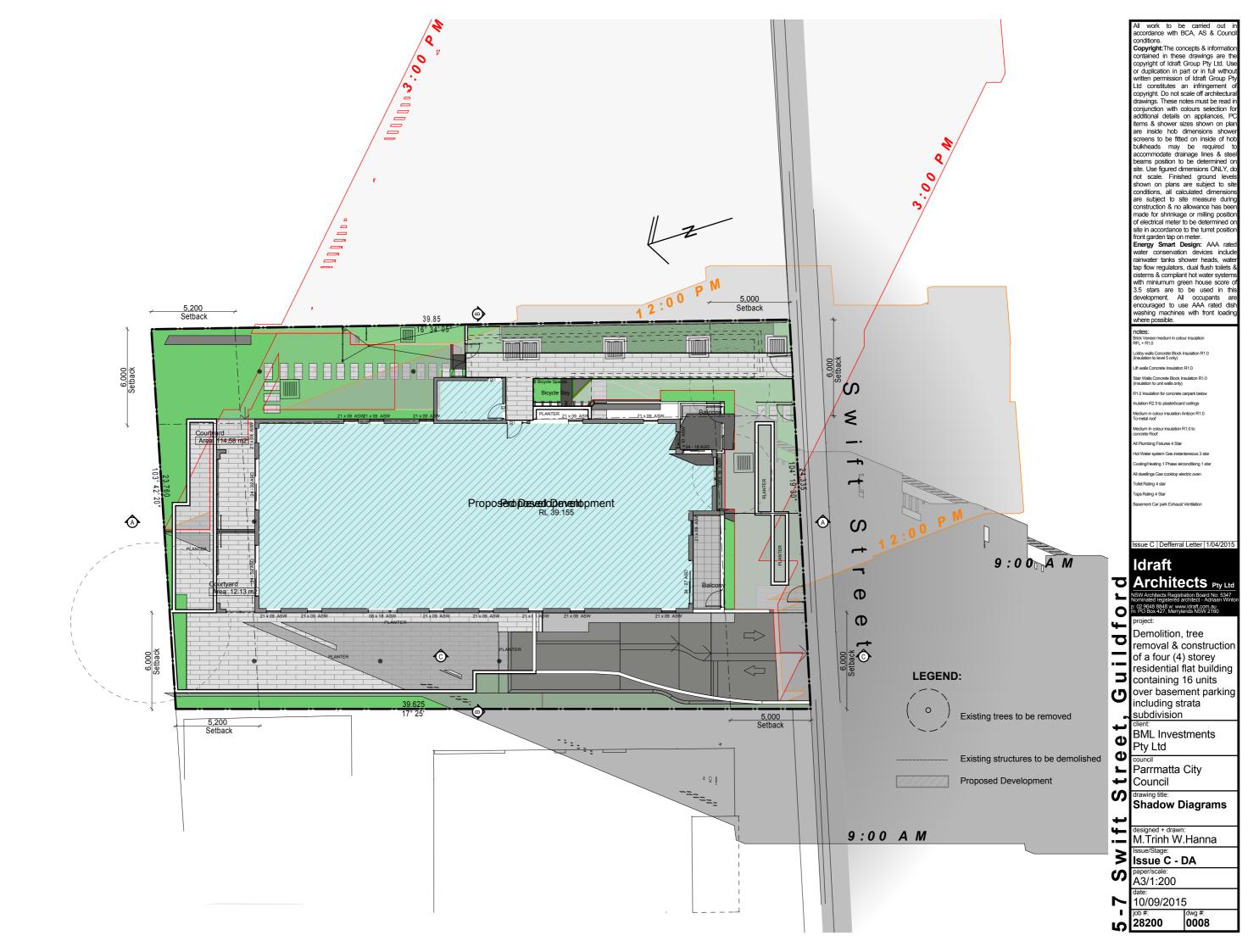
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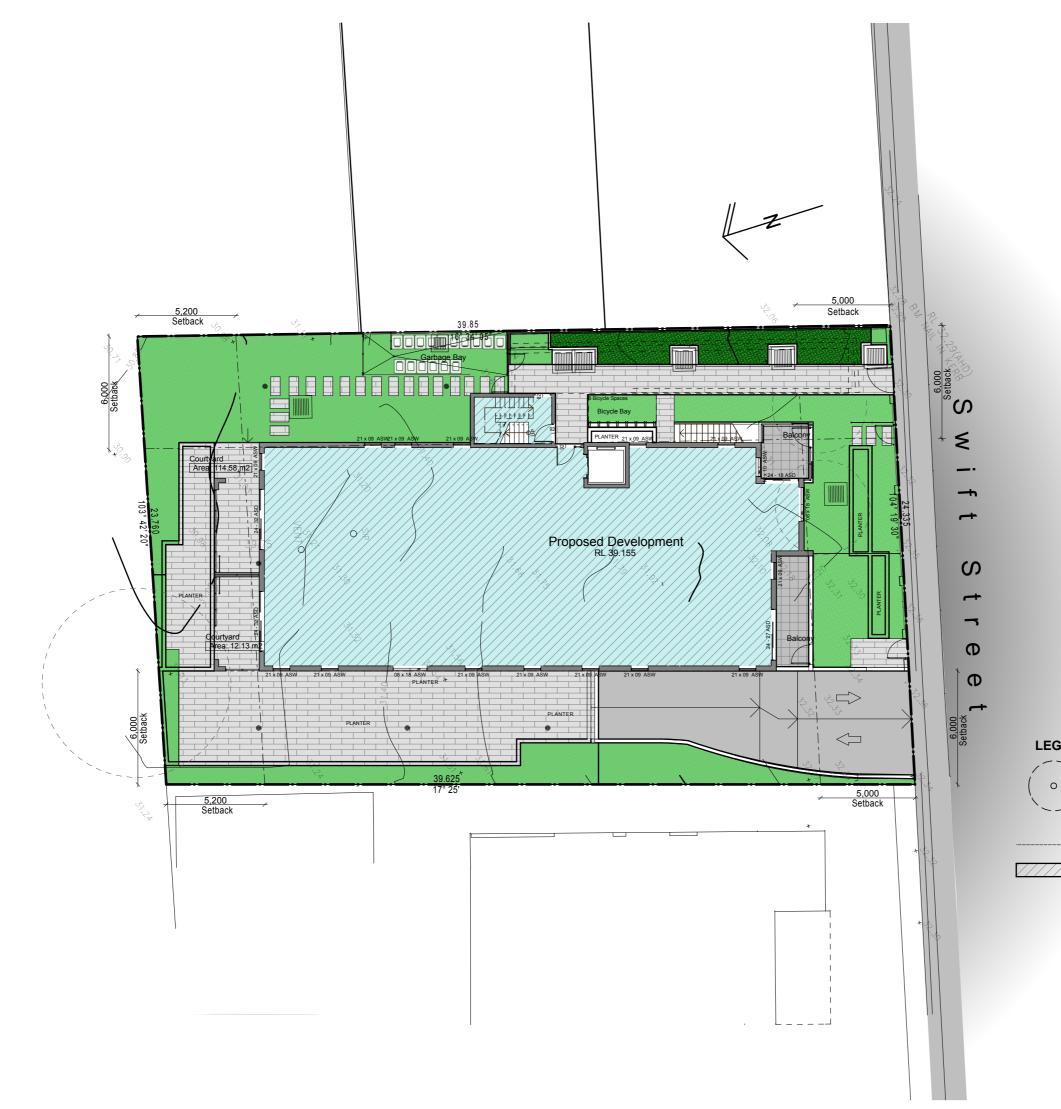


Existing trees to be

Existing structures

Proposed Develop





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LEGEND:

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Existing trees to be removed

Existing structures to be demolished

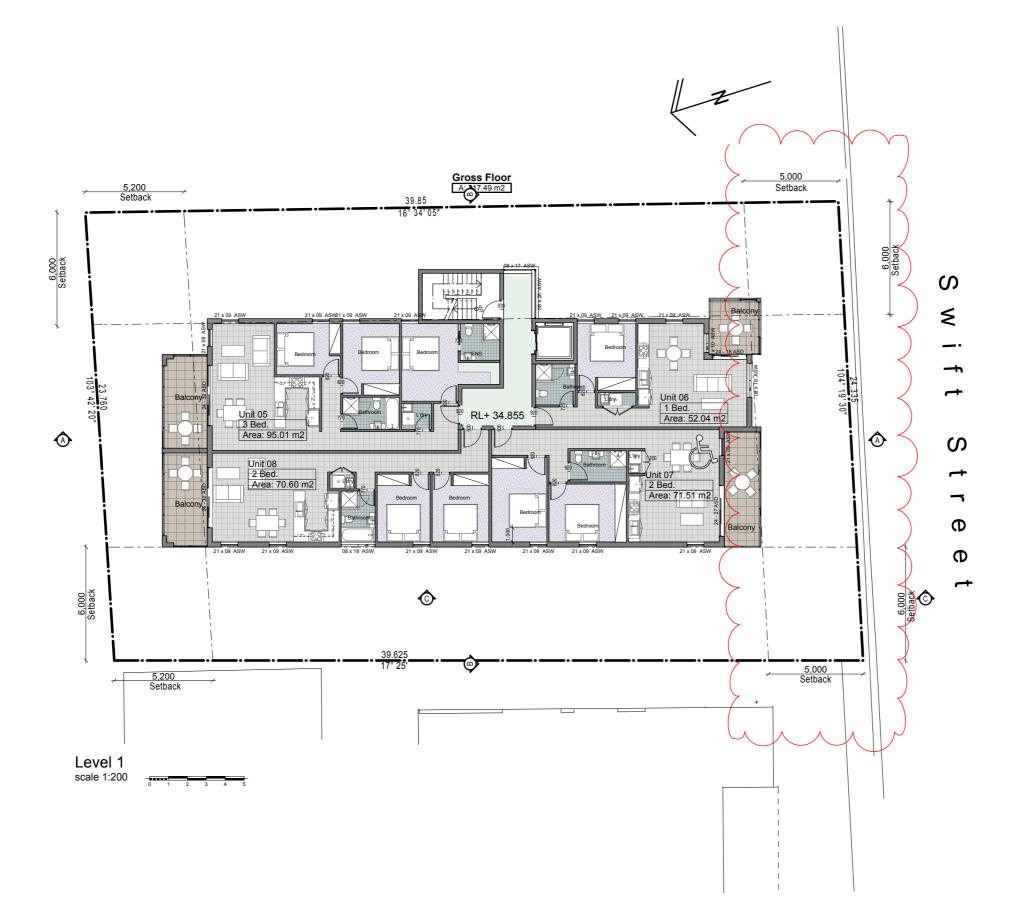
Proposed Development



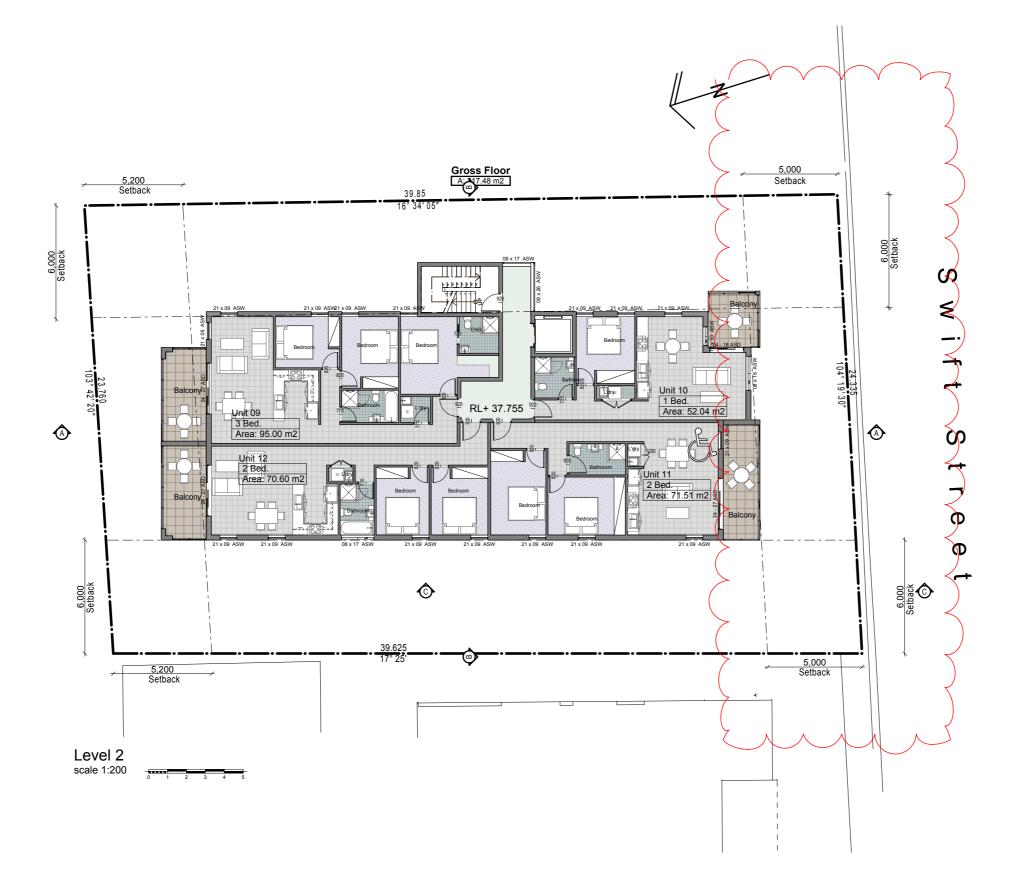
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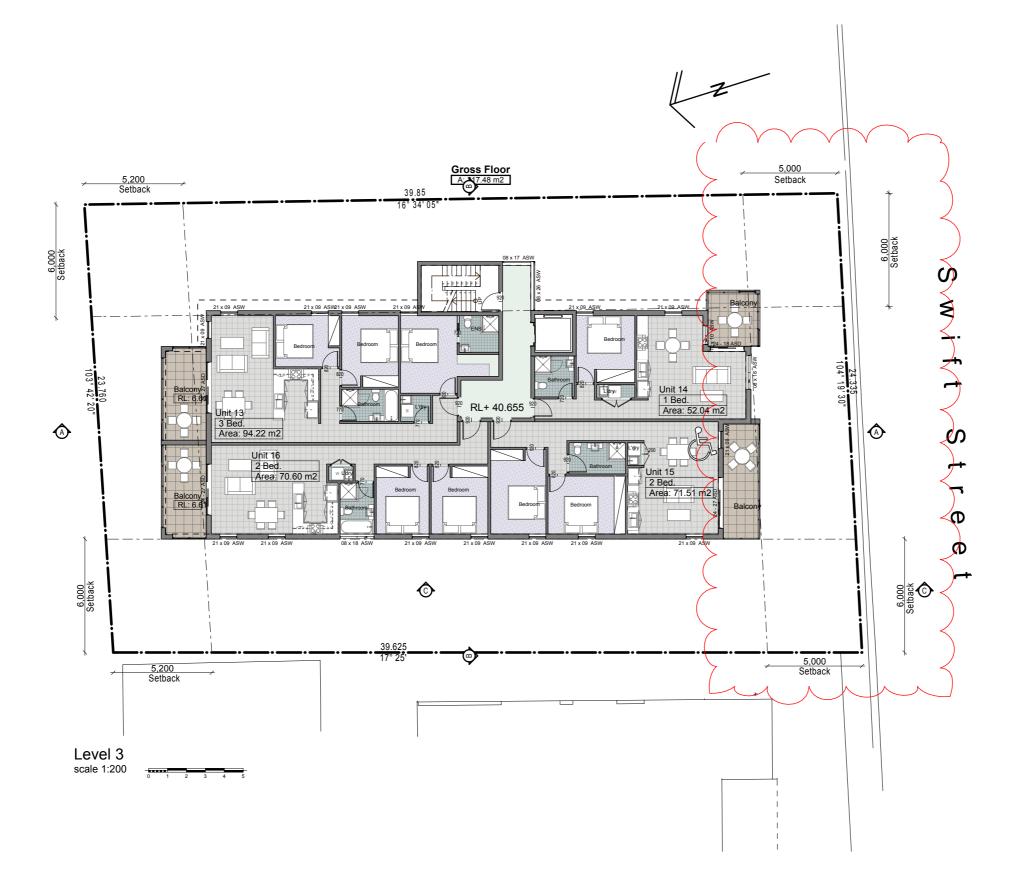
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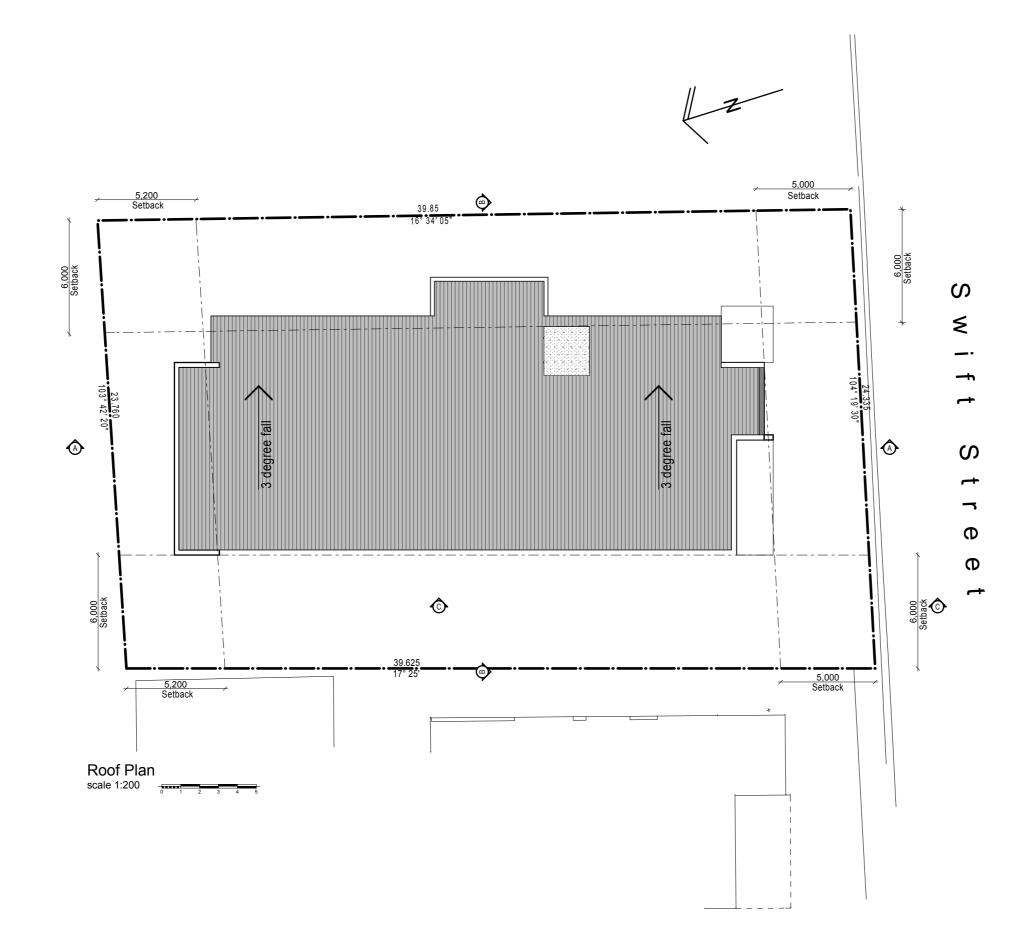
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Colour material schedule



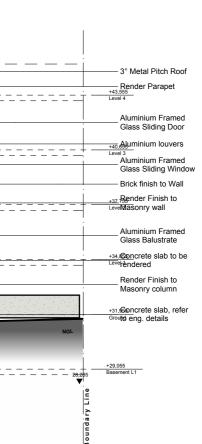
Apollo Highres - PGH bricks to skin of building.

Render - Dulux Klavier PG1H9 to Balconies and feature elements.

Render - white render to exterior walls

Alucobond - to feature wall

Colorbond Dune

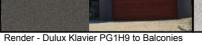






Colour material schedule





Apollo Highres - PGH bricks to skin of building.

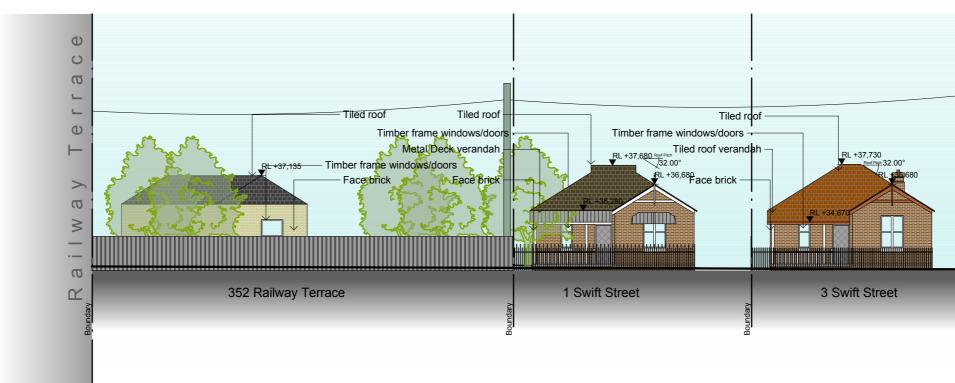
and feature elements.

Render - white render to exterior walls

Alucobond - to feature wall

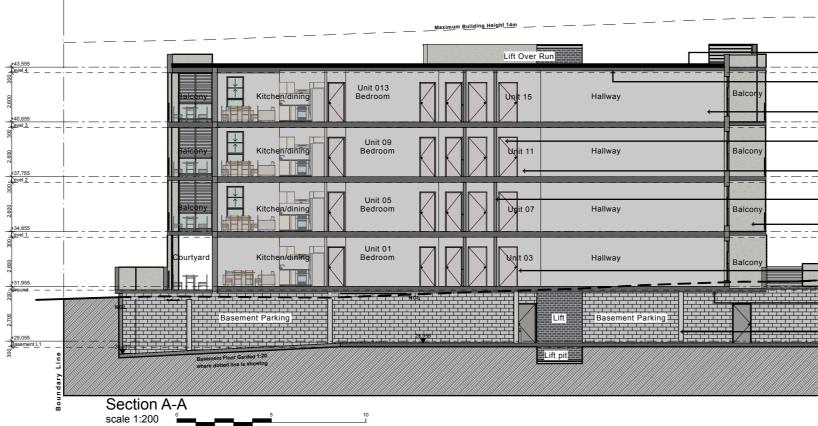
Louvers, Gutters, downpipes windows and do Colorbond Dune

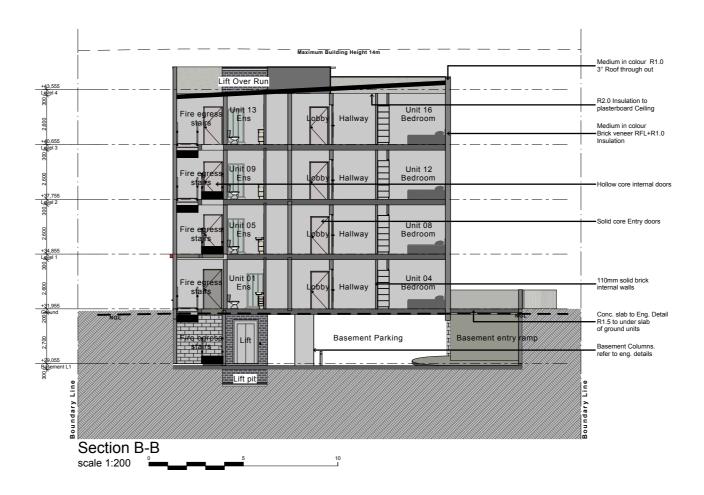
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	written permission of Idraft Group Pty Ltd constitutes an infringement of
Pitch Roof	copyright. Do not scale off architectural drawings. These notes must be read in
s brick work	conjunction with colours selection for
et	additional details on appliances, PC items & shower sizes shown on plan
Parapet	are inside hob dimensions shower
n Framed	screens to be fitted on inside of hob bulkheads may be required to
n Framed ding Window	accommodate drainage lines & steel
	beams position to be determined on site. Use figured dimensions ONLY, do
sh to Wall	not scale. Finished ground levels
m Framed	shown on plans are subject to site conditions, all calculated dimensions
ding Door	are subject to site measure during construction & no allowance has been
m louvers	made for shrinkage or milling position
	of electrical meter to be determined on site in accordance to the turret position
slab to be	front garden tap on meter.
	Energy Smart Design: AAA rated water conservation devices include
n Framed lustrate	rainwater tanks shower heads, water tap flow regulators, dual flush toilets &
inish to	cisterns & compliant hot water systems
column	with miniumum green house score of 3.5 stars are to be used in this
dered	development. All occupants are
e	encouraged to use AAA rated dish washing machines with front loading
	where possible.
slab, refer	notes: Brick Veneer medium in colour insulation
etails	RFL + R1.0
inish to	Lobby walls Concrete Block Insulation R1.0 (Insulation to level 5 only)
column	Lift walls Concrete Insulation R1.0
	Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
	R1.0 Insulation for concrete carpark below
	Inulation R2.5 to plasterboard ceilings
	Medium in colour insulation Anticon R1.0 To metal roof
	Medium In colour insulation R1.0 to
	concrete Roof All Plumbing Fixtures 4 Star
	Hot Water system Gas instantaneous 3 star
	Cooling/Heating 1 Phase airconditiong 1 star
Pitch Roof	All dwellings Gas cooktop electric oven
	Toilet Rating 4 star
Parapet	Taps Rating 4 Star
	Basement Car park Exhaust Ventilation
m Framed ner windows	
m louvers	Issue C Defferral Letter 1/04/2015
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iding Window	ldraft
sh to Wall	A rehite ata
Ū.	ACCIIILECLS Ptv Ltd
•	NSW Architects Registration Board No: 5347 Nominated registered architect - Adriaan Winton
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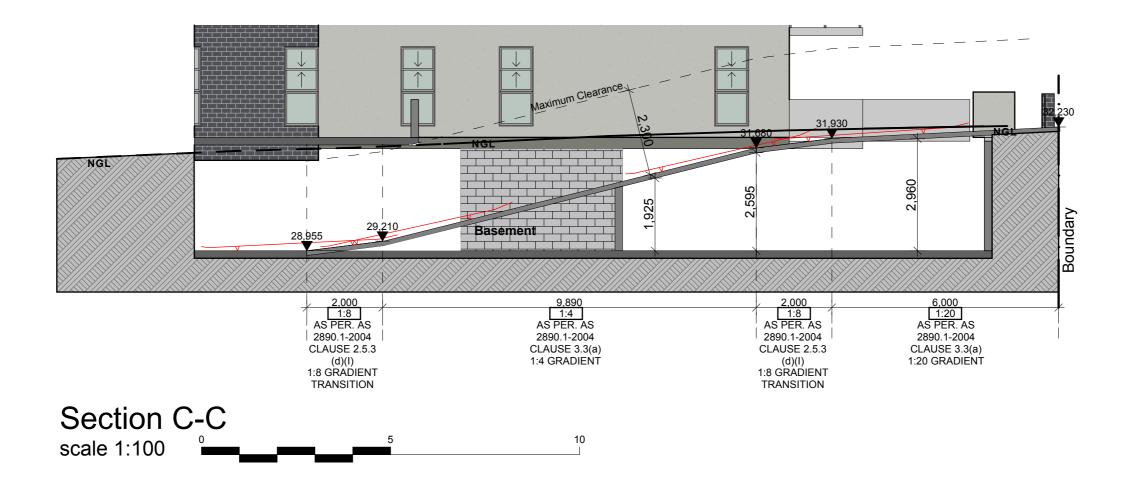
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			otes must be read in colours selection for
		additional details	on appliances, PC izes shown on plan
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			ned ground levels are subject to site
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		construction & no	allowance has been
		of electrical meter	e or milling position to be determined on
		site in accordance front garden tap or	to the turret position meter.
		Energy Smart	Design: AAA rated on devices include
		rainwater tanks sl	hower heads, water
ł			 dual flush toilets & nt hot water systems
			een house score of be used in this
		development. A	l occupants are
			se AAA rated dish s with front loading
1		where possible.	-
ł		notes: Brick Veneer medium in colo BEL + P10	our insulation
<u>≥</u>		RFL + R1.0 Lobby walls Concrete Block	Insulation R1.0
punda		(Insulation to level 5 only)	
°.		Stair Walls Concrete Block In	
		(Insulation to unit walls only)	
<		R1.0 Insulation for concrete Inulation R2.5 to plasterboar	
>		Medium in colour insulation	Anticon R1.0
		Medium In colour insulation	R1.0 to
		concrete Roof All Plumbing Fixtures 4 Star	
		Hot Water system Gas insta	ntaneous 3 star
		Cooling/Heating 1 Phase air	conditiong 1 star
		All dwellings Gas cooktop el Toilet Rating 4 star	ectric oven
		Taps Rating 4 Star	
		Basement Car park Exhaust	Ventilation
	Metal deck roof		
		Issue C Defferra	I Letter 1/04/2015
•		1 -1 £ 4	
	Mini orb cladding	ldraft	
	Fibre cement cladding	Archite	Cts Pty Ltd
D	<u> </u>	NSW Architects Regist Nominated registered a	ration Board No: 5347 architect - Adriaan Winton
	Aluminium framed awning window O	p: 02 9648 8848 w: ww m: PO Box 427, Merryl	
O	, in the second s	project:	
<u> </u>	Face brick	Demolition,	
÷	Aluminium framed feature window		construction
S		of a four (4	
	Aluminium framed feature window		flat building
S	Mini orb cladding	containing	nent parking
S	Aluminium framed sliding windows	including st	
	Louvre	subdivision	
. 0	Rendered blade wall	client:	1
2	Aluminium framed entry door	BML Inves	siments
0	í d	Pty Ltd	
		Parrmatta	Citv
	Brick fence with louvre inserts	Council	
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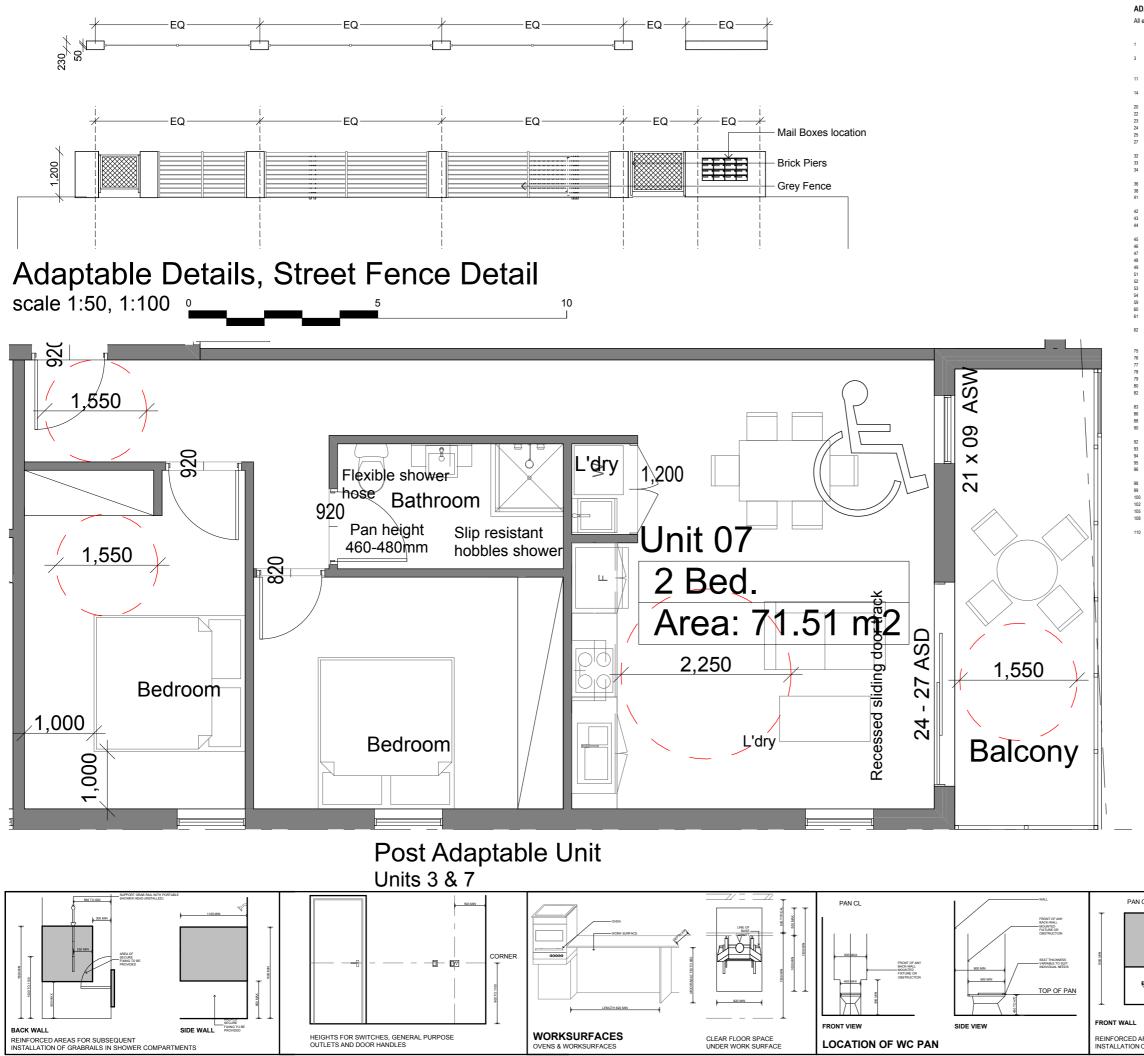


	Medium in colour R1.0 3° Roof through out
	plasterboard Ceiling Medium in colour Brick veneer RFL+R1.0
	_Insulation _R1.0 to Lobby walls (insulation only to Ground floor)
	- Hollow core internal doors
+	Solid core Entry doors Aluminium Frames glass Baustrades
	110mm solid brick internal walls
	 Conc. slab to Eng. Detail R1.5 to under slab of ground units
ary Line	Basement Columns. refer to eng. details

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	drawings. These notes must be read in conjunction with colours selection for
	additional details on appliances, PC items & shower sizes shown on plan
	are inside hob dimensions shower screens to be fitted on inside of hob
	bulkheads may be required to accommodate drainage lines & steel
	beams position to be determined on site. Use figured dimensions ONLY, do
	not scale. Finished ground levels shown on plans are subject to site
	conditions, all calculated dimensions are subject to site measure during
	construction & no allowance has been made for shrinkage or milling position
	of electrical meter to be determined on site in accordance to the turret position
	front garden tap on meter. Energy Smart Design: AAA rated
	water conservation devices include rainwater tanks shower heads, water
	tap flow regulators, dual flush toilets & cisterns & compliant hot water systems
	with miniumum green house score of 3.5 stars are to be used in this
	development. All occupants are encouraged to use AAA rated dish
	washing machines with front loading where possible.
	notes: Brick Veneer medium in colour insulation
	RFL + R1.0 Lobby walls Concrete Block Insulation R1.0
	(Insulation to level 5 only) Lift walls Concrete Insulation R1.0
	Stair Walls Concrete Block Insulation R1.0 (Insulation to unit walls only)
	R1.0 Insulation for concrete carpark below
	Inulation R2.5 to plasterboard ceilings Medium in colour insulation Anticon R1.0
	To metal roof Medium In colour insulation R1.0 to
	concrete Roof All Plumbing Fixtures 4 Star
	Hot Water system Gas instantaneous 3 star
	Cooling/Heating 1 Phase airconditiong 1 star All dwellings Gas cooktop electric oven
	Toilet Rating 4 star
	Taps Rating 4 Star Basement Car park Exhaust Ventilation
	Issue C Defferral Letter 1/04/2015
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σ	Architects Pty Ltd
5	NSW Architects Registration Board No: 5347 Nominated registered architect - Adriaan Winton
0	p: 02 9648 8848 w: www.idraft.com.au m: PO Box 427, Merrylands NSW 2160
4	project: Demolition, tree
σ	removal & construction
_	of a four (4) storey
5	residential flat building containing 16 units
	over basement parking
U	including strata
-	subdivision
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	conjunction with c	otes must be read in olours selection for on appliances, PC					
	items & shower si	zes shown on plan dimensions shower					
	screens to be fitte	d on inside of hob be required to					
	accommodate dra	inage lines & steel be determined on					
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	conditions, all cal	are subject to site culated dimensions					
	construction & no	te measure during allowance has been					
	of electrical meter	e or milling position to be determined on to the turret position					
	front garden tap on Energy Smart D	meter.					
	water conservatio	n devices include nower heads, water					
	tap flow regulators	, dual flush toilets & that hot water systems					
		een house score of					
		e AAA rated dish					
	washing machines where possible.	with front loading					
	Notes: Brick Veneer medium in colo	ur insulation					
	RFL + R1.0 Lobby walls Concrete Block I (Insulation to level 5 only)	nsulation R1.0					
	Lift walls Concrete Insulation	R1.0					
	Stair Walls Concrete Block Ir (Insulation to unit walls only)	sulation R1.0					
	R1.0 Insulation for concrete of Inulation R2.5 to plasterboard						
	Medium in colour insulation A To metal roof	nticon R1.0					
	Medium In colour insulation F concrete Roof	R1.0 to					
	All Plumbing Fixtures 4 Star Hot Water system Gas instantaneous 3 star						
	Cooling/Heating 1 Phase aird						
	All dwellings Gas cooktop ele Toilet Rating 4 star	ectric oven					
	Taps Rating 4 Star						
	Basement Car park Exhaust	Ventilation					
	Issue C Defferra	Letter 1/04/2015					
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	of a four (4)) storey					
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5	drawing title:						
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-BML Investments Φ Pty Ltd Φ counci Parrmatta City 5 ┯ Council PAN CL S drawing title Adaptation & Fence Details -4 designed + dra M. Trinh W. Hanna Sissue/Stage: Issue C - DA AREA OF SECURE FIXING TO B = S A3/1:50, 1:100 SIDE WALL 10/09/2015 REINFORCED AREAS FOR SUBSEQUENT INSTALLATION OF GRABRAILS IN TOILETS ່ທ²⁸²⁰⁰

SCHEDULE OF FEATURES FOR ADAPTABLE HOUSING ADAPTABLE HOUSE CLASS C

All essential features incorporated

..vciS r*rovision of dra SITING A continuous accessible nath of travel from street fronts complying with AS1428.1 LETTERBOXES IN ESTATE DEVELOPMENTS etterboxes to be on hard sta RIVATE CAR ACCOMMOD Carparking space or garage n CCESSIBLE ENTRY Accessible entry Accessible entry to be level (i.e. max. 1:40 slope) hreshold to be low-level Interation to be on-even Landing to earbie whether than manoeurability Accessible eithy door to have 550mm min clearance Door lever handles and hardware to 85 A128.1 NITEROR GENERAL Internationation to have 820mm min clearance Internat controls min, with of 1000mm Provision for complement with 54 1023.1 for door approace LININS ROOM & DINING ROOM 1 space of min 225 Provision for circulation space of min 22 elephone adjacent to GPO Potential illumination level min 300 lux KITCHEN Minimum width 2.7m (1550mm clear between Provision for circulation at doors to comply with AS 1428.1 Provision for crossfation at doors to compary with AS 1428.1 Provision for behavious planned to include at tesat one evidossufateo d 800mm adjustable in height from 750mm to 850mm or replaceable, refer to Figure 4 Refloperator adjuscutable to break suface Kitchen sink adjustable to breakfah from 750mm to 850mm or replacable Kitchen sink boul max 150mm deep Tep set capitation or lever handles or lever mater Tap set located within 300mm of front of sink Lap set located within 300mm of trong of sink Cocktops to include elimiter four or side elimiter outdoes with related cross bars Cocktops to include isolationg switch Worksurface min Signami legit adjuscent to cocktop at same height Oven located adjucent to an adjustable height or replaceable work surface GPOs to comply with AS 1428. 1. Al least one double GPO with 300mm of th GPO to reflegator to be easily reactable when the refigeration is in its ope Slip-resistant floor surface MAIN BEDROOM At least one bedroom of area sufficient to accommodate queen size bed and was circulation space requirements of AS 1428.2 BATHROOM Provision for bathroom area to comply with as 1428.1 Silpresidant from circulate and the second sec At least one bedroom of area su ovision for washbasin with clearance to comply with AS 1428.1 Double GPO beside mirror TOILET TOILET Provision of either 'visitable toilet' or accessible toilet Provision to comply with AS 1428.1 Location of WC pan at correct distance from fixed wai Provision for grab rail zone. Slip resistant floor surface (Vitreous files or similar). LAUNDRY Circulation at doors to comply with AS 1428.1 Provision for adequate circulation space in front of or beside applia Provision for automatic washing machine Where others line is provided an accessible path of travel to this Double GPO LAUNDRY Slip-resistant floor surface DOOR LOCKS

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including strata

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subdivision